

The Town of Shelburne
Planning and Zoning Department
Administrative Office
203 Main Street East
Shelburne, Ontario, L9V 3K7

20 March 2020

Dear Mr. Weber,

Re: **Tribute (Shelburne) Limited (Part Lot Control Exemption Application) Proposal
Hyland Village (Plan 7M-74)**

An exemption from the Part Lot Control requirements of the Planning Act is requested to facilitate the transfer of land pursuant to the Reference Plans that have been prepared following the survey of the as built foundations for the **Semi-Detached Lots: 112, 113, 114, 128, 129, 130, 131, 132, 133 and 134; and Townhouse Blocks: 148, 149 and 150.**

Enclosed please find the following documents related to the Part Lot Control Exemption of the above noted Lots at Hyland Village (7M-74).

- A cheque payable to the Town of Shelburne in the amount of \$4,705.00 (*mailed*)
- Planning Application Form for Part Lot Control Exemption – 5 Pages
- Appendix 'A' – Plan of Subdivision – 1 Page/Plan
- Appendix 'B' – Site Plans – 13 Pages
- Appendix 'C' – Lot Markups for PLC Exemption – 1 Page
- Appendix 'D' – Property Information Schedule – 3 Pages
- Appendix 'E' – Copy of Draft Reference Plans – 2 Plans (*to be submitted*)

If any additional information is required please do not hesitate to contact me at mikem@krcmar.ca or alternatively at (289) 380-2610. Relevant reference plans shall be deposited in the Regional Land Titles Office upon review.

Sincerely,



Michael McKechnie, OLS, OLIP, BASc.
Project Director, Krcmar Surveyors Ltd.

REMITTANCE ADVICE

Tribute Shelburne Limited Partnership

TownOfShe Town of Shelburne

| DATE | INVOICE | DESCRIPTION | AMOUNT | RETAINAGE | DISCOUNT | NET |
|------------------------|-----------------------|----------------|---------|-----------|----------|---------|
| 3/16/20 | 2020-03-16 | Part lot contr | 4705.00 | .00 | .00 | 4705.00 |
| CHEQUE DATE 3/16/20 | CHEQUE NUMBER 1330 | TOTAL > | 4705.00 | .00 | .00 | 4705.00 |

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

THIS CHEQUE CONTAINS THE FOLLOWING SECURITY FEATURES: MICROPRINTING, FLUORESCENT FIBRES AND A TRUE WATERMARK

Tribute Shelburne Limited Partnership
1815 Ironstone Manor
Unit 1
Pickering Ontario L1W 3W9

Royal Bank of Canada
20 King St. West
Toronto, Ontario M5H 1C4

1330

0 3 1 6 2 0 2 (
 M M D D Y Y Y Y

Pay:*****Four thousand seven hundred five dollars and no cents

\$ ****4,705.00

INFORMATION ONLY

TO Town of Shelburne
THE 203 Main Street East,
ORDER Shelburne, ON L9V 3K7
OF

[Signature]
[Signature]
PAYABLE IN CANADIAN DOLLARS

⑈000001330⑈ ⑈06012⑈003⑈ 104⑈496⑈5⑈

Tribute Communities
1815 Ironstone Manor
Unit #1
Pickering, ON L1W 3W9

Town of Shelburne
203 Main Street East
Shelburne, ON L9V 3K7



TOWN OF SHELBURNE

Application for a Part Lot Control Exemption By-law

Application Instructions and Process Guidelines

PLEASE DETACH AND RETAIN PAGES 1 AND 2 FOR FUTURE REFERENCE

INFORMATION AND FEES

Submissions to the Town of Shelburne seeking approval for a Part Lot Control Exemption By-law is provided for under Section 50(7) (7, 7.1 through to 7.5) of the Planning Act, R.S.O. 1990, as amended. The following application form must be completed and submitted with the required fee in order to be considered by Council for approval. Should you require additional information or clarification on any matter related to this form, please contact the Town Planner.

The Part Lot Control Exemption By-law is generally used for the purpose of reconfiguring existing lots or blocks within a registered plan of subdivision to facilitate development. Exemption from part-lot control is appropriate when a large number of land transactions are involved, but the resulting changes will not cause any changes to the character or nature of the subdivision. Part-lot control exemptions are also used for semi-detached or townhouse developments. Utilizing the part lot control exemption allows a process to ensure that common walls of multi-unit buildings are located directly on property lines.

Application Fees: To be accepted as a complete application, each submission must be accompanied by the appropriate application fee. Payments are accepted in the form of a cheque, cash or money order payable to the Town of Shelburne. NVCA and other external agency review fees and/or permit fees may also apply in addition to Town fees. The Town's current application fees are identified in the table below.

| # of Lots | Base Fee (2019) | Contingency (2019) |
|--------------|-----------------|--------------------|
| Less than 20 | \$2,155 | \$110 per lot |
| 20+ | | \$85 per lot |

Please note:

1. The Town of Shelburne is the approval authority for Part Lot Control Exemption By-laws.
2. Town application fees shall be paid by cash, cheque or money order payable to the "Town of Shelburne".
3. NVCA application fees are payable to the "Nottawasaga Valley Conservation Authority".
4. The base application fee and contingency deposit may be paid together, but NVCA fees shall be paid separately.
5. The Town's base application fee is non-refundable. The contingency deposit may be wholly or partially refundable if the Town's processing costs are fully covered by the base fee, as determined by the Town.
6. The application and required drawings shall be completed in metric units.
7. Drawings must be prepared by a qualified professional such as an engineer, architect, landscape architect, planner or land surveyor.
8. The receipt of inaccurate or incomplete information may cause delays in the processing of an application.
9. Additional information, studies and/or reports may be required by the Town prior to approval. The Town of Shelburne reserves the right to determine information necessary in order to properly process an application.
10. Applicants are advised to communicate with neighbours regarding planned development.

APPLICATION SUBMISSION

Please submit the application package for Part Lot Control Exemption By-law and fees to:

Town of Shelburne
203 Main Street East
Shelburne, ON L9V 3K7
Tel: (519) 925-2600
Fax: (519) 925-6134

This process pertains to an application for part-lot control exemption pursuant to Section 50(7) of the Planning Act. Prior to the Town processing the application, it is required that a copy of the attached application form be completed including the prescribed number of hard copies of the submission package. Please also note that the Town of Shelburne requires an electronic submission of all forms, drawings and reports that form part of the application.

The following checklist should be used to ensure a complete submission:

| Item | Required (this section to be completed with Town Planner) | | |
|---|---|----------|----|
| | YES | # copies | NO |
| Completed and Signed Application Form (Original) | ✓ | | - |
| Draft Survey Reference Plan and Lot Summary Certified by O.L.S. | ✓ | | - |
| Planning Justification Report | | | |
| Urban Design Study | | | |
| Arborist Report | | | |
| Traffic/Parking Study | | | |
| Functional Servicing Report | | | |
| Storm Water Management Report | | | |
| Geotechnical Report | | | |
| Environmental Impact Report | | | |
| Site Remediation Studies | | | |
| Archaeological Assessment | | | |
| Heritage Impact Statement | | | |
| Other: | | | |
| | | | |
| | | | |

APPLICATION PROCESS

1. Pre-Application Consultation with Town Planner to review submission requirements.
2. Applicant files completed application form and required submission package with Town of Shelburne.
3. Application is circulated to Town departments and external agencies.
4. Part-lot control exempting by-law is prepared upon receipt of departmental and agency clearances.
5. Applicant submits DEPOSITED Reference Plan to Town, Town Planner prepares report to Council.
6. By-law is considered for passage by Town Council.
7. If passed by Council, Town submits by-law to Town solicitor and/or applicant's solicitor for registration.
8. Approved by-law is registered on title to the property by the Town's solicitor or the applicant's solicitor.
9. Applicant notified of By-law registration authorizing transfer of resulting parcels to individual owners.
10. By-law repeal/expiry.

| PART I: APPLICANT INFORMATION | |
|--|--|
| Name of Applicant*: SUSAN ZUCCHERO Director, Land Development, Tribute Communities | Phone: C: 647.962.1587 Bus: 905.839.3500 (ext 384) |
| Mailing Address: 1815 Ironstone Manor, Unit 1 Pickering, Ontario L1W 3W9 | Fax: N/A |
| | E-mail: susan.z@mytribute.ca |
| Name of Agent*: MICHAEL MCKECHNIE, OLS, OLIP, B.A.Sc. Project Director, Krcmar Surveyors Ltd. | Phone: C: 289.380.2610 |
| Mailing Address: KRCMAR SURVEYORS LTD. 1137 Centre Street Thornhill, ON L4J 3M6 P: 905.738.0053 | Fax: F: 905.738.9221 |
| | E-mail: mikem@krcmar.ca mjmck@live.ca |
| Name of Property Owner*: TRIBUTE (SHELBURNE) LIMITED Principal: AL LIBFELD | Phone: Bus: 905.839.3500 (ext 315) |
| Mailing Address: 1815 Ironstone Manor, Unit 1 Pickering, Ontario L1W 3W9 | Fax: N/A |
| | E-mail: al@mytribute.ca |
| Name of Ontario Land Surveyor: MICHAEL MCKECHNIE, OLS, OLIP, B.A.Sc. Project Director, Krcmar Surveyors Ltd. | Phone: C: 289.380.2610 |
| Mailing Address: KRCMAR SURVEYORS LTD. 1137 Centre Street Thornhill, ON L4J 3M6 P: 905.738.0053 | Fax: F: 905.738.9221 |
| | Email: mikem@krcmar.ca mjmck@live.ca |
| When was the property acquired by the current Property Owner? Plan of Subdivision 7M-74 was Registered in the Land Registry Office for the Land Titles Division of Dufferin on September 24, 2019. | |
| All correspondence, notices, etc. in respect to this development application will be forwarded to: (check applicable) Applicant <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> | |

*If the Applicant, Agent or Property Owner is a numbered company, also provide the name of a principal of the company

| PART II: PROPERTY INFORMATION | |
|---|--|
| a.) Street Address: VARIOUS ADDRESSES UPON PLAN 7M-74; REFER TO APPENDIX 'D' - PROPERTY INFORMATION SCHEDULE | |
| b.) Legal Description: BLOCK(S): 148, 149, 150 (7M-74) LOT(S): 112, 113, 114, 128, 129, 130, 131, 132, 133, 134 (7M-74) | |
| c.) Are there any existing easements, restrictive covenants affecting the subject lands? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | |
| If YES, provide a description of registered instrument number: | SUBJECT TO AN EASEMENT IN GROSS AS IN DC211696 OVERLAND FLOW EASEMENTS |
| d.) Existing number of lots by type: | Other (please specify): 0 |
| | Semi-detached: 10 - SEMI-DETACHED LOTS |
| | Townhouses: 3 - TOWNHOUSE BLOCKS |

| PART III: PROPOSED LAND USE AND DEVELOPMENT | | |
|--|---|--------------------------|
| a.) Current Official Plan Designation | RESIDENTIAL | |
| b.) Current Zoning | [R4-6] LOT(S): 112, 113, 114, 128, 129, 130, 131, 132, 133, 134 (7M-74) [R5-6] BLOCK(S): 148, 149, 150 (7M-74) | |
| c.) Are there any proposed easements or restrictive covenants affecting the subject lands? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | | |
| d.) Proposed number of lots by type: | Semi-detached | 20 - SEMI-DETACHED UNITS |
| | Townhouses | 10 - TOWNHOUSE UNITS |
| | Other (please specify) | 0 - N/A |

| PART IV: SERVICING INFORMATION | |
|--------------------------------|--|
| a.) Water Supply: | <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Other |
| b.) Sanitary: | <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Other |
| c.) Storm Drainage: | <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> Other |
| d.) Road Access: | <input checked="" type="checkbox"/> Provincial <input type="checkbox"/> County <input checked="" type="checkbox"/> Local <input type="checkbox"/> Other: _____ |

| PART V: ADDITIONAL INFORMATION | | |
|---|---|---------------------|
| a.) Has a site plan agreement been entered into? | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | |
| b.) Is draft reference plan consistent with the approved site plan? | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | |
| c.) Has a building permit been issued? | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | |
| d.) Is the proposed development under construction? | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | |
| e.) Is the subject land subject to any other planning applications: | | |
| Consent | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Application Number: |
| Minor Variance | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Application Number: |
| Zoning Amendment | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Application Number: |
| Official Plan Amendment | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Application Number: |
| Site Plan | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | Application Number: |

PART VI: PAYMENT OF FEES

I (we), TRIBUTE (SHELBURNE) LIMITED - [ASO] AL LIBFELD being the registered owner(s) of the subject lands, hereby authorize MICHAEL McKECHNIE to prepare and submit an application for part lot control exemption by-law.

Owner's Signature:  Date: March 20, 2020

PART VII: PERMISSION TO ENTER

I (we) TRIBUTE (SHELBURNE) LIMITED - [ASO] AL LIBFELD hereby authorize the members of staff and/or elected members of Council of the Town of Shelburne to enter upon the subject lands and premises for the limited purpose of evaluating the merits of this application. This is their authority for doing so.

Owner's Signature:  Date: March 20, 2020

PART VIII: OWNER'S AUTHORIZATION

I (we), TRIBUTE (SHELBURNE) LIMITED - [ASO] AL LIBFELD being the registered owner(s) of the subject lands, hereby authorize MICHAEL McKECHNIE to prepare and submit an application for part lot control exemption by-law.

Owner's Signature:  Date: March 20, 2020

PART IX: AFFIDAVIT

I (we), MICHAEL McKECHNIE of the TOWNSHIP OF SPRINGWATER, in the County/Region of SIMCOE, solemnly declare that all the statements contained in this application are true and I (we) make this make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.

Signature of Owner or Authorized Agent 

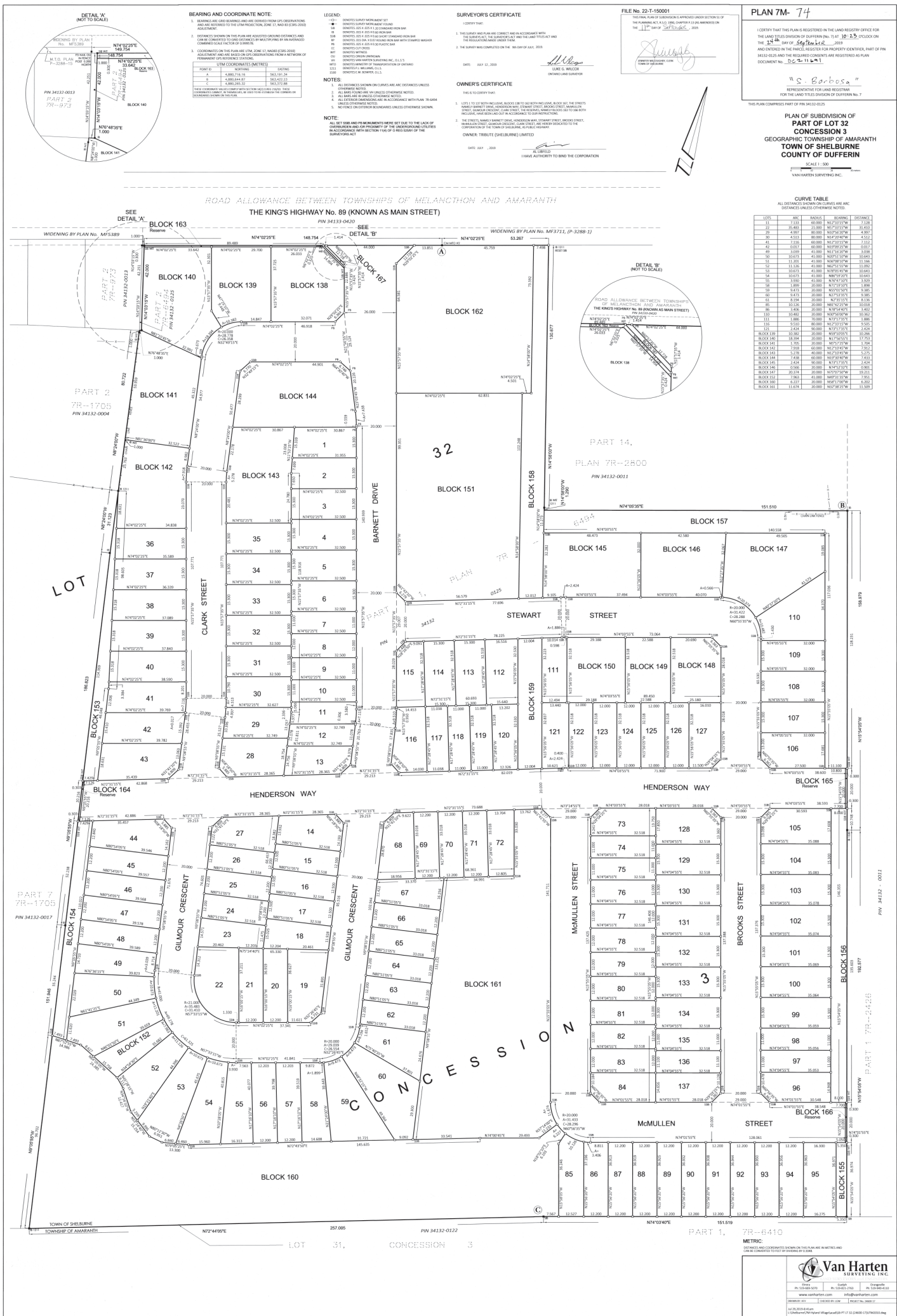
DECLARED before me at the TOWN of SHELBURNE in the Country/Region of DUFFERIN this 20th day of March, 2020.

Signature of Commissioner _____

Printed Name of Commissioner _____

PART LOT CONTROL EXEMPTION APPLICATION

APPENDIX 'A' – PLAN OF SUBDIVISION



PART LOT CONTROL EXEMPTION APPLICATION

APPENDIX 'B' – SITE PLANS

CROZIER & ASSOCIATES INC.

FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY

Darrin Tone, P.Eng. (2019/10/01)

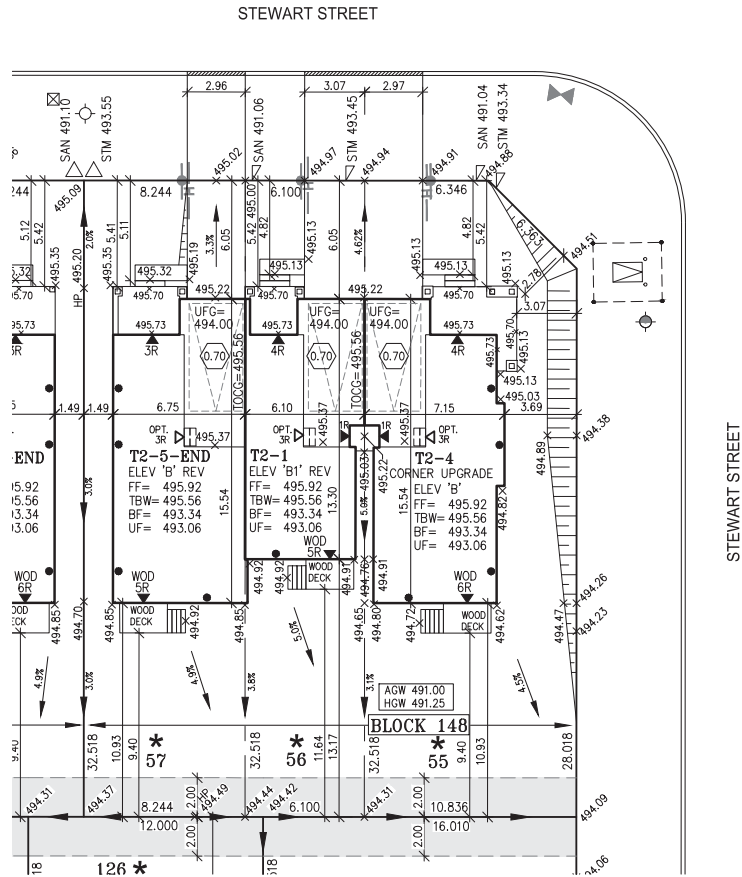


GENERAL NOTES:

- ALL WORK MUST CONFORM TO THE CURRENT ONTARIO BUILDING CODE AND ALL CURRENT MUNICIPAL BY-LAWS.
- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY DIMENSIONS ON THE SITE, REPORTING ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING.
- DRIVEWAYS MUST HAVE A MINIMUM OF 1.5M CLEARANCE TO TRANSFORMERS AND 1.2m TO OTHER STREET FURNITURE. DRIVEWAYS TO HAVE 0.6M CLEARANCE FROM PROJECTED PROPERTY LINES.
- SURVEYOR TO VERIFY THAT MINIMUM FROST PROTECTION IS PROVIDED FOR ALL FOOTINGS.
- ALL DOWNSPOUTS MUST BE LOCATED TO ENSURE DRAINAGE IS DIRECTED AWAY FROM THE HOUSE. DOWNSPOUTS SHALL DISCHARGE TO SURFACE ONTO SPLASHPADS.
- BUILDER TO VERIFY LOCATIONS & ELEVATIONS OF SANITARY, STORM AND FDC LATERALS IN RELATION TO BASEMENT ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
- REFER TO ARCHITECTURAL WORKING DRAWINGS AND STREETSAPES FOR CONSTRUCTION REQUIREMENTS AND DETAILS. ALL GUARDS / HANDRAILS TO CONFORM TO OBC SECTION 9.8.
- LOCATIONS OF SUNKEN AREAS, WINDOWS AND DOORS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL LOCATIONS.
- REFER TO LANDSCAPE ARCHITECT'S FENCING LAYOUT PLAN FOR ALL FENCE LOCATIONS & DETAILS OR MUNICIPALITY FENCE STANDARD DETAILS.
- SANITARY AND STORM INVERTS PROVIDED BY CROZIER & ASSOCIATES CONSULTING ENGINEERS. BUILDER TO EXCAVATE AND VERIFY LATERAL ELEVATIONS AT STREET LINE PRIOR TO DIGGING FOUNDATION.
- UTILITY LOCATIONS SHOWN ARE PRELIMINARY AT TIME OF SITING APPROVAL.

LEGEND

- STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- WATER SERVICE
- CATCH BASIN
- STM & SAN - SPLIT CONNECTION
- STM & SAN - SINGLE CONNECTION
- SWALE DIRECTION
- CABLE TV PEDESTAL
- BELL PEDESTAL
- SUPER MAIL BOX
- EXTERIOR DOOR LOCATION
- SIDE WINDOW LOCATION
- EMBANKMENT 3:1 MAX. SLOPE
- HYDRO
- FINISHED FLOOR ELEVATION
- TOP OF BASEMENT WALL ELEV.
- TOP OF CONCRETE WALL ELEV.
- TOP OF CONC. WALL - GAR. ELEV.
- BASEMENT FLOOR ELEVATION
- UNDERSIDE OF FOOTING ELEV.
- UNDERSIDE OF FTG. - GAR. ELEV.
- UNDERSIDE OF FTG. - REAR ELEV.
- UNDERSIDE OF FTG. - SIDE ELEV.
- WALK OUT DECK
- SEMI WALK OUT
- WALK OUT BASEMENT
- REVERSE PLAN
- NUMBER OF RISERS
- PROPOSED ELEVATION
- EXISTING ELEVATION
- RAIN WATER LEADER
- ENGINEERED FILL
- HIGH GROUND WATER ELEV.
- AVERAGE GROUND WATER ELEV.
- FIN. FLR. TO GARAGE ELEV. DIFF.
- EASEMENT - SIDE OR REAR YARD
- EASEMENT - OVERLAND FLOW



Unit 55 to 57

| Note: | High Ground Water Elev. | Avg. Ground Water Elev. | Larger Fig. Req. below elev. |
|--|-------------------------|-------------------------|------------------------------|
| ^A Larger fig. required when below m. elev. listed | 491.25 | 491.00 | 491.85 |
| BSMT. Slab Elev. | Difference | Difference | Slab Sub-drain req. |
| 493.34 | 2.09 | 2.34 | NO |
| U/S of Strip Fig. Elev. | Difference | Difference | Larger Fig. Req. |
| 493.06 | 1.81 | 2.06 | NO* |
| U/S of Party Wall Fig. Elev. | Difference | Difference | Larger Fig. Req. |
| 493.96 | 1.81 | 2.06 | NO* |
| U/S of Fire Wall Fig. Elev. | Difference | Difference | Larger Fig. Req. |
| N/A | N/A | N/A | N/A |
| U/S of Pad Fig. Elev. | Difference | Difference | Larger Fig. Req. |
| 492.80 | 1.55 | 1.80 | NO* |

Parking Space:
2.75 m x 5.50 m
Min. 1 Parking Space
in Garage

Note:
Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements

Note:
Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings

Zone:

RS - 6

Unit 55

Lot Area: 268.00 sq. m. (185 min)
Lot Frontage: 8.24 m. (6.0 min)
Building Coverage: 108.79 sq. m.
Lot Coverage: 40.80 % (50% max)
Building Height: 7.920 m. (12.0 max)
Landscape Open Space: 65.06 %

Unit 56

Lot Area: 198.40 sq. m. (185 min)
Lot Frontage: 6.10 m. (6.0 min)
Building Coverage: 78.59 sq. m.
Lot Coverage: 40.12 % (50% max)
Building Height: 7.920 m. (12.0 max)
Landscape Open Space: 46.83 %

Unit 57

Lot Area: 342.40 sq. m. (185 min)
Lot Frontage: 10.84 m. (6.0 min)
Building Coverage: 107.26 sq. m.
Lot Coverage: 31.33 % (50% max)
Building Height: 7.810 m. (12.0 max)
Landscape Open Space: 62.96 %

Client: TRIBUTE SHELburne LIMITED PARTNERSHIP

Project Name: HYLAND VILLAGE TOWN OF SHELburne

Sheet Title: SITING & GRADING Block 148 Unit 55-57 Phase 1 M-Plan 7M -

REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461

1 DAMIAN CHUNG TIAM FOOK have reviewed and take responsibility for this design.

Signature: *D. Chung* BCIN 27995 Date: 30 SEPT. 2019

Scale: 1:250

Date: JULY 2019

Drawn by: LP

Checked by: DCTF

CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS

60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH. (905) 619-1270 FAX (905) 619-1269

Project No. 2016-57

Sheet No. 148

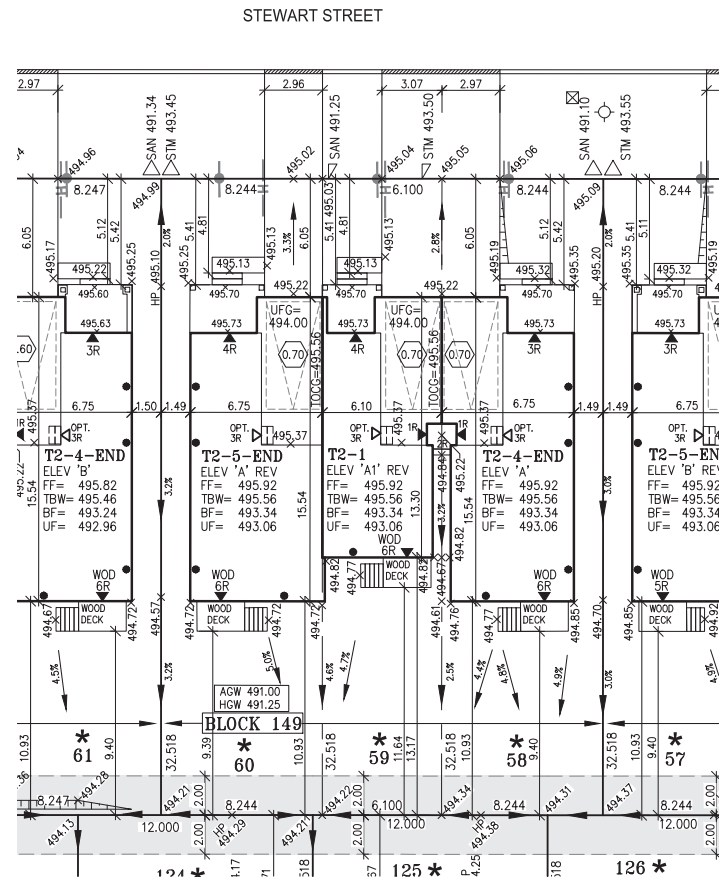
CROZIER & ASSOCIATES INC.
FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY
Darrin Tone, P.Eng. (2019/10/01)



- GENERAL NOTES:**
- 1) ALL WORK MUST CONFORM TO THE CURRENT ONTARIO BUILDING CODE AND ALL CURRENT MUNICIPAL BY-LAWS.
 - 2) CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY DIMENSIONS ON THE SITE, REPORTING ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING.
 - 3) DRIVEWAYS MUST HAVE A MINIMUM OF 1.5M CLEARANCE TO TRANSFORMERS AND 1.2m TO OTHER STREET FURNITURE. DRIVEWAYS TO HAVE 0.6M CLEARANCE FROM PROJECTED PROPERTY LINES.
 - 4) SURVEYOR TO VERIFY THAT MINIMUM FROST PROTECTION IS PROVIDED FOR ALL FOOTINGS.
 - 5) ALL DOWNSPOUTS MUST BE LOCATED TO ENSURE DRAINAGE IS DIRECTED AWAY FROM THE HOUSE. DOWNSPOUTS SHALL DISCHARGE TO SURFACE ONTO SPLASHPADS.
 - 6) BUILDER TO VERIFY LOCATIONS & ELEVATIONS OF SANITARY, STORM AND FOC LATERALS IN RELATION TO BASEMENT ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
 - 7) REFER TO ARCHITECTURAL WORKING DRAWINGS AND STREETSCAPES FOR CONSTRUCTION REQUIREMENTS AND DETAILS. ALL GUARDS/ HANDRAILS TO CONFORM TO OBC SECTION 8.8.
 - 8) LOCATIONS OF SUNKEN AREAS, WINDOWS AND DOORS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL LOCATIONS.
 - 9) REFER TO LANDSCAPE ARCHITECT'S FENCING LAYOUT PLAN FOR ALL FENCE LOCATIONS & DETAILS OR MUNICIPALITY FENCE STANDARD DETAILS.
 - 10) SANITARY AND STORM INVERTS PROVIDED BY CROZIER & ASSOCIATES CONSULTING ENGINEERS. BUILDER TO EXCAVATE AND VERIFY LATERAL ELEVATIONS AT STREET LINE PRIOR TO DIGGING FOUNDATION.
 - 11) UTILITY LOCATIONS SHOWN ARE PRELIMINARY AT TIME OF SITING APPROVAL.

LEGEND

| | |
|--|-------------------------------------|
| | STREET LIGHT |
| | HYDRANT |
| | TRANSFORMER |
| | VALVE CHAMBER |
| | WATER SERVICE |
| | CATCH BASIN |
| | STM & SAN - SPLIT CONNECTION |
| | STM & SAN - SINGLE CONNECTION |
| | SWALE DIRECTION |
| | CABLE TV PEDESTAL |
| | BELL PEDESTAL |
| | SUPER MAIL BOX |
| | EXTERIOR DOOR LOCATION |
| | SIDE WINDOW LOCATION |
| | EMBANKMENT 3:1 MAX. SLOPE |
| | HYDRO |
| | FF FINISHED FLOOR ELEVATION |
| | TBW TOP OF BASEMENT WALL ELEV. |
| | TOC TOP OF CONCRETE WALL ELEV. |
| | TOCG TOP OF CONC. WALL - GAR. ELEV. |
| | BF BASEMENT FLOOR ELEVATION |
| | UFG UNDERSIDE OF FOOTING ELEV. |
| | UFR UNDERSIDE OF FTG - GAR. ELEV. |
| | UFR UNDERSIDE OF FTG - REAR ELEV. |
| | UFS UNDERSIDE OF FTG - SIDE ELEV. |
| | WOD WALK OUT DECK |
| | SWO SEMI WALK OUT |
| | WOB WALK OUT BASEMENT |
| | REV REVERSE PLAN |
| | 2R, 3R NUMBER OF RISERS |
| | 000,00 PROPOSED ELEVATION |
| | 000,00 EXISTING ELEVATION |
| | RWL RAIN WATER LEADER |
| | E ENGINEERED FILL |
| | HGW HIGH GROUND WATER ELEV. |
| | AGW AVERAGE GROUND WATER ELEV. |
| | 0 FIN. FLR. TO GARAGE ELEV. DIFF. |
| | E EASEMENT - SIDE OR REAR YARD |
| | E EASEMENT - OVERLAND FLOW |



Unit 58 to 60

| | Note | High Ground Water Elev. | Avg. Ground Water Elev. | Larger Fig. Req. below elev. |
|------------------------------|--------|-------------------------|-------------------------|------------------------------|
| BSMT. Slab Elev. | 491.25 | 491.25 | 491.00 | 491.85 |
| U/S of Strip Ftg. Elev. | 493.34 | 493.34 | 493.00 | 493.80 |
| U/S of Party Wall Ftg. Elev. | 493.96 | 493.96 | 493.00 | 494.92 |
| U/S of Fire Wall Ftg. Elev. | N/A | N/A | N/A | N/A |
| U/S of Pad Ftg. Elev. | 492.80 | 492.80 | 492.00 | 493.80 |

Zone: RS-6

| Unit 58 | Unit 59 | Unit 60 |
|--------------------------------------|--------------------------------------|--------------------------------------|
| Lot Area: 268.10 sq. m. (185 min) | Lot Area: 198.30 sq. m. (185 min) | Lot Area: 268.10 sq. m. (185 min) |
| Lot Frontage: 8.24 m. (6.0 min) | Lot Frontage: 6.10 m. (6.0 min) | Lot Frontage: 8.24 m. (6.0 min) |
| Building Coverage: 102.85 sq. m. | Building Coverage: 78.59 sq. m. | Building Coverage: 107.37 sq. m. |
| Lot Coverage: 38.37 % (50% max) | Lot Coverage: 40.14 % (50% max) | Lot Coverage: 40.05 % (50% max) |
| Building Height: 7,810 m. (12.0 max) | Building Height: 7,920 m. (12.0 max) | Building Height: 7,860 m. (12.0 max) |
| Landscape Open Space: 63.06 % | Landscape Open Space: 46.82 % | Landscape Open Space: 61.94 % |

Parking Space: 2,75 m x 5,50 m
Min. 1 Parking Space in Garage

Note: Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements

Note: Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings

Client: **TRIBUTE SHELburne LIMITED PARTNERSHIP**

Project Name: **HYLAND VILLAGE TOWN OF SHELburne**

Sheet Title: **SITING & GRADING**

Block: **149** Unit: **58-60** Phase: **1**

M-Plan 7M -

REGISTERED PERSON:
D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461

I, **DAMIAN CHUNG TIAM FOOK** have reviewed and take responsibility for this design.

Signature: *[Signature]* BCIN 27995 Date: 30 SEPT. 2019

Scale: **1:250**

Date: **JULY 2019**

Drawn by: **LP**

Checked by: **DCTF**

Project No: **2016-57**

Sheet No: **149**

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269

© 2019 Project 2016-57 Title - Shelburne Village Single Base Block - 183.8g
September 30, 2019 4:33:43 PM

CROZIER & ASSOCIATES INC.
FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY
Darrin Tone, P.Eng. (2019/10/01)

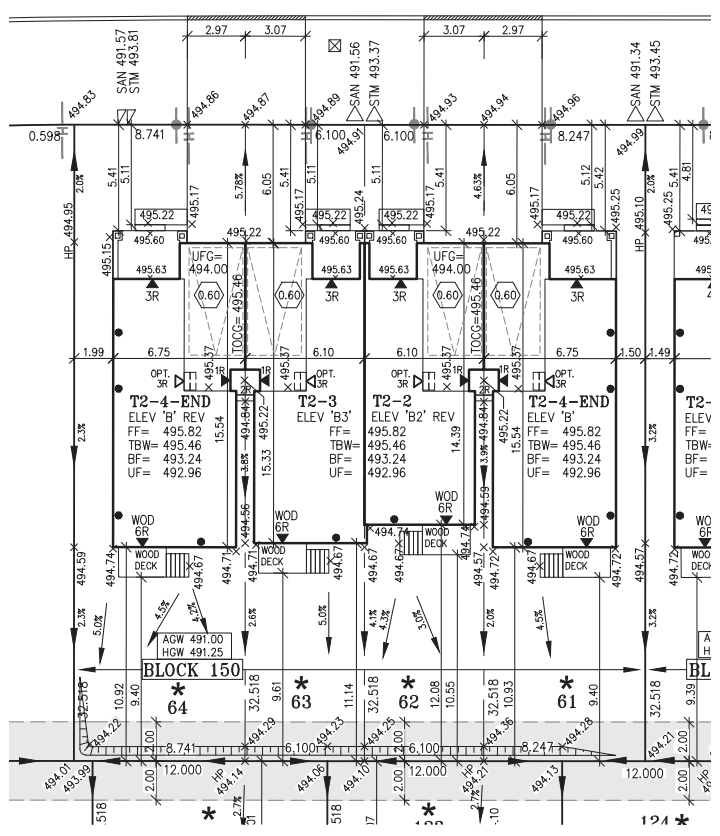


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- 3) DRIVEWAYS MUST HAVE A MINIMUM OF 1.5M CLEARANCE TO TRANSFORMERS AND 1.2m TO OTHER STREET FURNITURE. DRIVEWAYS TO HAVE 0.6M CLEARANCE FROM PROJECTED PROPERTY LINES.
- 4) SURVEYOR TO VERIFY THAT MINIMUM FROST PROTECTION IS PROVIDED FOR ALL FOOTINGS.
- 5) ALL DOWNSPOUTS MUST BE LOCATED TO ENSURE DRAINAGE IS DIRECTED AWAY FROM THE HOUSE. DOWNSPOUTS SHALL DISCHARGE TO SURFACE ONTO SPLASHPADS.
- 6) BUILDER TO VERIFY LOCATIONS & ELEVATIONS OF SANITARY, STORM AND FOC LATERALS IN RELATION TO BASEMENT ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
- 7) REFER TO ARCHITECTURAL WORKING DRAWINGS AND STREETSAPES FOR CONSTRUCTION REQUIREMENTS AND DETAILS. ALL GUARDS / HANDRAILS TO CONFORM TO OBC SECTION 9.8.3
- 8) LOCATIONS OF SUNKEN AREAS, WINDOWS AND DOORS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL LOCATIONS.
- 9) REFER TO LANDSCAPE ARCHITECT'S FENCING LAYOUT PLAN FOR ALL FENCE LOCATIONS & DETAILS OR MUNICIPALITY FENCE STANDARD DETAILS
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- 11) UTILITY LOCATIONS SHOWN ARE PRELIMINARY AT TIME OF SITING APPROVAL.

- LEGEND**
- STREET LIGHT
 - HYDRANT
 - TRANSFORMER
 - VALVE CHAMBER
 - WATER SERVICE
 - CATCH BASIN
 - STM & SAN - SPLIT CONNECTION
 - STM & SAN - SINGLE CONNECTION
 - SWALE DIRECTION
 - CABLE TV PEDESTAL
 - BELL PEDESTAL
 - SUPER MAIL BOX
 - EXTERIOR DOOR LOCATION
 - SIDE WINDOW LOCATION
 - EMPALEMENT 3:1 MAX. SLOPE
 - HYDRO
 - FF FINISHED FLOOR ELEVATION
 - TBW TOP OF BASEMENT WALL ELEV.
 - TOC TOP OF CONCRETE WALL ELEV.
 - TOCG TOP OF CONC. WALL - GAR. ELEV.
 - BF BASEMENT FLOOR ELEVATION
 - UFG UNDERSIDE OF FOOTING ELEV.
 - UFR UNDERSIDE OF FTG. - GAR. ELEV.
 - UFR UNDERSIDE OF FTG. - REAR ELEV.
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 - WOD WALK OUT DECK
 - SWO SEMI WALK OUT
 - WOB WALK OUT BASEMENT
 - REV REVERSE PLAN
 - 2R,3R NUMBER OF RISERS
 - 000,00 PROPOSED ELEVATION
 - 000,00 EXISTING ELEVATION
 - RWL RAIN WATER LEADER
 - ENGINEERED FILL
 - HGW HIGH GROUND WATER ELEV.
 - AGW AVERAGE GROUND WATER ELEV.
 - FIN. FLR. TO GARAGE ELEV. DIFF.
 - EASEMENT - SIDE OR REAR YARD
 - EASEMENT - OVERLAND FLOW

STEWART STREET



Unit 61 to 64

| Note: | High Ground Water Elev. | Avg. Ground Water Elev. | Larger Fig. Req. below elev. |
|--|-------------------------|-------------------------|------------------------------|
| ^a Larger fig. required when below n. elev. listed | 491.25 | 491.00 | 491.85 |
| Bsmt. Slab Elev: | Difference | Difference | Slab Sub-drain req. |
| 492.24 | 1.99 | 2.24 | NO |
| U/S of Strip Fig. Elev: | Difference | Difference | Larger Fig. Req. |
| 492.96 | 1.71 | 1.96 | NO* |
| U/S of Party Wall Fig. Elev: | Difference | Difference | Larger Fig. Req. |
| 492.96 | 1.71 | 1.96 | NO* |
| U/S of Fire Wall Fig. Elev: | Difference | Difference | Larger Fig. Req. |
| N/A | N/A | N/A | N/A |
| U/S of Pad Fig. Elev: | Difference | Difference | Larger Fig. Req. |
| 492.70 | 1.45 | 1.70 | NO* |

Parking Space:
2,75 m x 5,50 m
Min. 1 Parking Space
in Garage

Note:
Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements

Note:
Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings

| Zone: RS - 6 | | | |
|---|---|---|---|
| Unit 61 | Unit 62 | Unit 63 | Unit 64 |
| Lot Area: 284,10 sq. m. (185 min) | Lot Area: 198,40 sq. m. (185 min) | Lot Area: 198,40 sq. m. (185 min) | Lot Area: 268,20 sq. m. (185 min) |
| Lot Frontage: 8,74 m. (6,0 min) | Lot Frontage: 6,10 m. (6,0 min) | Lot Frontage: 6,10 m. (6,0 min) | Lot Frontage: 8,25 m. (6,0 min) |
| Building Coverage: 102,85 sq. m. | Building Coverage: 91,04 sq. m. | Building Coverage: 91,04 sq. m. | Building Coverage: 102,85 sq. m. |
| Lot Coverage: 36,21 % (50% max) | Lot Coverage: 43,22 % (50% max) | Lot Coverage: 45,89 % (50% max) | Lot Coverage: 38,35 % (50% max) |
| Building Height: 7,760 m. (12,0 max) | Building Height: 7,760 m. (12,0 max) | Building Height: 7,760 m. (12,0 max) | Building Height: 7,760 m. (12,0 max) |
| Landscape Open Space: 63,02 % | Landscape Open Space: 48,23 % | Landscape Open Space: 48,29 % | Landscape Open Space: 65,11 % |

Client
TRIBUTE SHELburne LIMITED PARTNERSHIP

Project Name
HYLAND VILLAGE TOWN OF SHELburne

Sheet Title
SITING & GRADING

Block
150

Unit
61-64

Phase
1

M-Plan
7M -

REGISTERED PERSON:
D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461

I, **DAMIAN CHUNG TIAM FOOK** have reviewed and take responsibility for this design.

Signature *D. Chung*
BCIN 27995 Date: 30 SEPT. 2019

Scale:
1 : 250

Date:
JULY 2019

Drawn by:
LP

Checked by:
DCTF

Project No.
2016-57

Sheet No.
150

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269

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LEGEND

| | |
|--|-------------------------------------|
| | STREET LIGHT |
| | HYDRANT |
| | TRANSFORMER |
| | VALVE CHAMBER |
| | WATER SERVICE |
| | CATCH BASIN |
| | STM & SAN - SPLIT CONNECTION |
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| | SWALE DIRECTION |
| | CABLE TV PEDESTAL |
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| | SUPER MAIL BOX |
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| | FF FINISHED FLOOR ELEVATION |
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| | RWL RAIN WATER LEADER |
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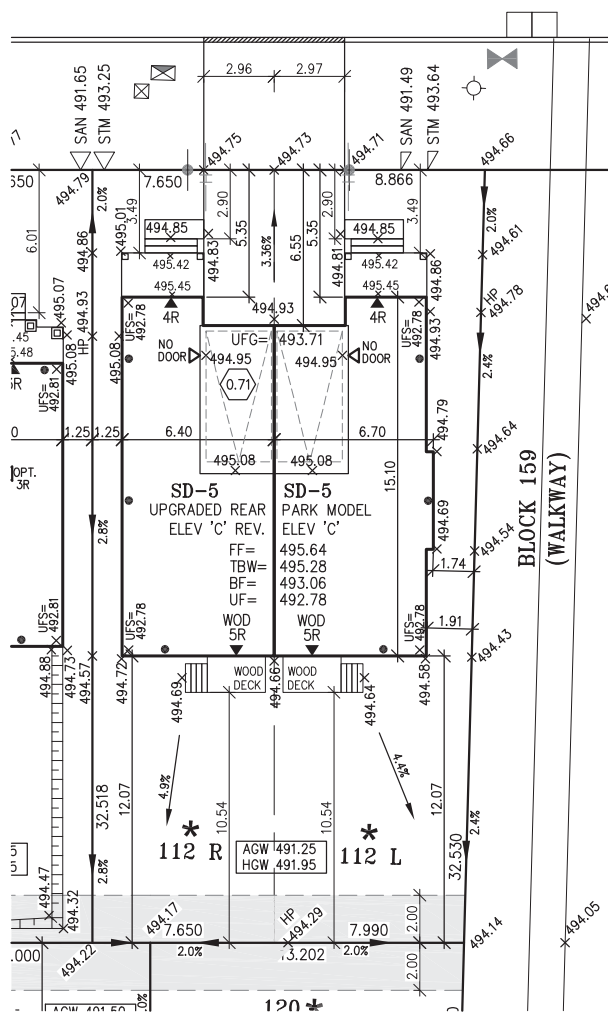
CROZIER & ASSOCIATES INC.

FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY

08/09/2019



STEWART STREET



Client **TRIBUTE SHELburne
LIMITED PARTNERSHIP**

Project Name **HYLAND VILLAGE
TOWN OF SHELburne**

Sheet Title **SITING &
GRADING**

Lot **112 L/R** Phase **1**
M-Plan **7M -**

REGISTERED PERSON:

**D.W. CASSIDY & CO. ARCHITECTURAL
TECHNOLOGISTS**

FIRM BCIN 28461

I **DAMIAN CHUNG TIAM FOOK** have

reviewed and take responsibility for this design.

Signature *D. Chung Tiam Fook*

BCIN 27995 Date: 31 JULY 2019

Note:
* Larger Ftg. required when
below min. elev. listed

Bsmt. Slab Elev.: **493.06**U/S of Strip Ftg. Elev.: **492.78**U/S of Pad Ftg. Elev.: **492.74**Lot Coverage: **39.99 % (45% max)**Building Height: **8.060 m. (11.0 max)**Landscape Open Space: **56.31 %**Parking Space: **2.75 m x 5.50 m**Min. 1 Parking Space
in GarageHigh Ground
Water Elev. **491.95**Difference **1.11**Difference **0.83**Difference **0.79**Difference **1.49**Difference **1.81**Difference **1.53**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Avg. Ground
Water Elev. **491.25**Difference **1.81**Difference **1.53**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Difference **1.49**Larger Ftg. Req.
below elev. **492.55**Slab Sub-drain req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**Larger Ftg. Req. **NO**

2 ISSUED FOR FINAL APPROVAL

31 JULY '19

DCTF

1 ISSUED FOR PRELIM REVIEW

23 MAY '19

DCTF

No. Description

Date

By.

Scale.

1 : 250

Date.

JULY 2019

Drawn by.

LP

Checked by.

DCTF

Project No.

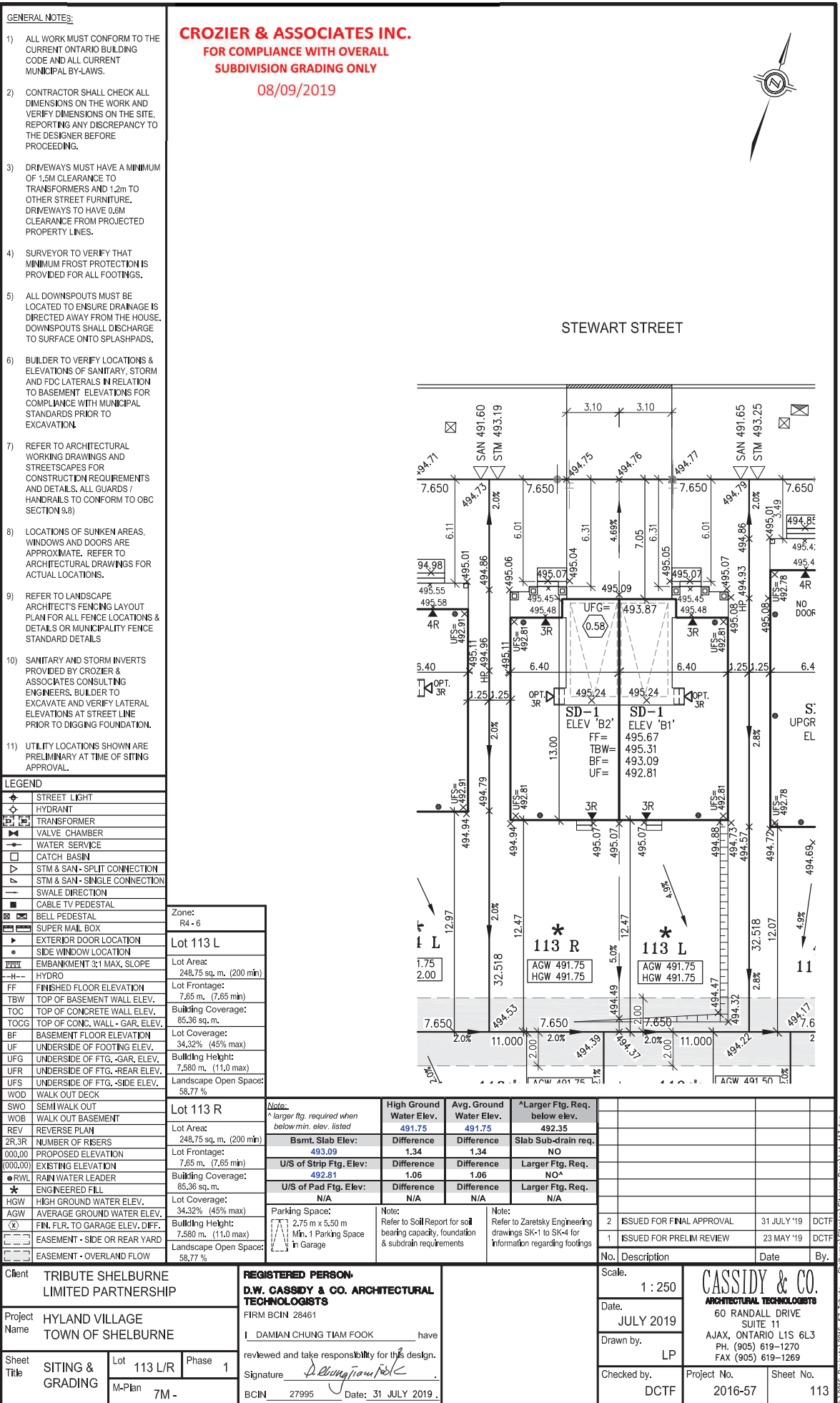
2016-57

Sheet No.

112

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269

CA 1006 Projects 2016-57 Tribute - Shelburne (Shelburne) (Shelburne) Base (Lot-112).dgn
August 8, 2019 8:50:55 AM



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LEGEND

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|--|-------------------------------------|
| | STREET LIGHT |
| | HYDRANT |
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| | FIN. FLR. TO GARAGE ELEV. DIFF. |
| | EASEMENT - SIDE OR REAR YARD |
| | EASEMENT - OVERLAND FLOW |

| | |
|-----------------------|--------------------------|
| Zone: | R4 - 6 |
| Lot 128 L | |
| Lot Area: | 248,763 sq. m. (200 min) |
| Lot Frontage: | 7.85 m. (7.85 min) |
| Building Coverage: | 99.47 sq. m. |
| Lot Coverage: | 39.99 % (45% max) |
| Building Height: | 8,160 m. (11.0 max) |
| Landscape Open Space: | 57.25 % |
| Lot 128 R | |
| Lot Area: | 321,729 sq. m. (200 min) |
| Lot Frontage: | 10,20 m. (7.65 min) |
| Building Coverage: | 103.77 sq. m. |
| Lot Coverage: | 32.26 % (45% max) |
| Building Height: | 8,210 m. (11.0 max) |
| Landscape Open Space: | 64.67 % |

| | | | |
|--|--------|------------|--------|
| Note: * Larger Ftg. required when below min. elev. listed | | | |
| Bsmt. Slab Elev: | 491.25 | Difference | 491.00 |
| U/S of Strip Ftg. Elev: | 491.96 | Difference | 0.71 |
| U/S of Pad Ftg. Elev: | 491.92 | Difference | 0.67 |

| | |
|--------------------------------|-----------------|
| Parking Space: | 2.75 m x 5.50 m |
| Min. 1 Parking Space in Garage | |

| | | | | | |
|-------------------------|--------|-------------------------|--------|------------------------------|--------|
| High Ground Water Elev. | 491.25 | Avg. Ground Water Elev. | 491.00 | Larger Ftg. Req. below elev. | 491.85 |
| Difference | 0.99 | Difference | 1.24 | Slab Sub-drain req. | NO |
| Difference | 0.71 | Difference | 0.96 | Larger Ftg. Req. | NO* |
| Difference | 0.67 | Difference | 0.92 | Larger Ftg. Req. | NO |

| | |
|-------|--|
| Note: | Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements |
| Note: | Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings |

| | | | |
|---|---------------------------|-------------|------|
| 2 | ISSUED FOR FINAL APPROVAL | 30 JULY '19 | DCTF |
| 1 | ISSUED FOR PRELIM REVIEW | 23 MAY '19 | DCTF |

| | | | |
|-----|---------------------------|-------------|------|
| No. | Description | Date | By. |
| 2 | ISSUED FOR FINAL APPROVAL | 30 JULY '19 | DCTF |
| 1 | ISSUED FOR PRELIM REVIEW | 23 MAY '19 | DCTF |

Client: TRIBUTE SHELburne LIMITED PARTNERSHIP

Project Name: HYLAND VILLAGE TOWN OF SHELburne

Sheet Title: SITING & GRADING

Lot: 128 L/R Phase: 1

M-Plan 7M -

REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS

FIRM BCIN 28461

I DAMIAN CHUNG TIAM FOOK have

reviewed and take responsibility for this design.

Signature: *D. Cassidy*

BCIN 27995 Date: 30 JULY 2019.

Scale: 1:250

Date: JULY 2019

Drawn by: LP

Checked by: DCTF

CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS

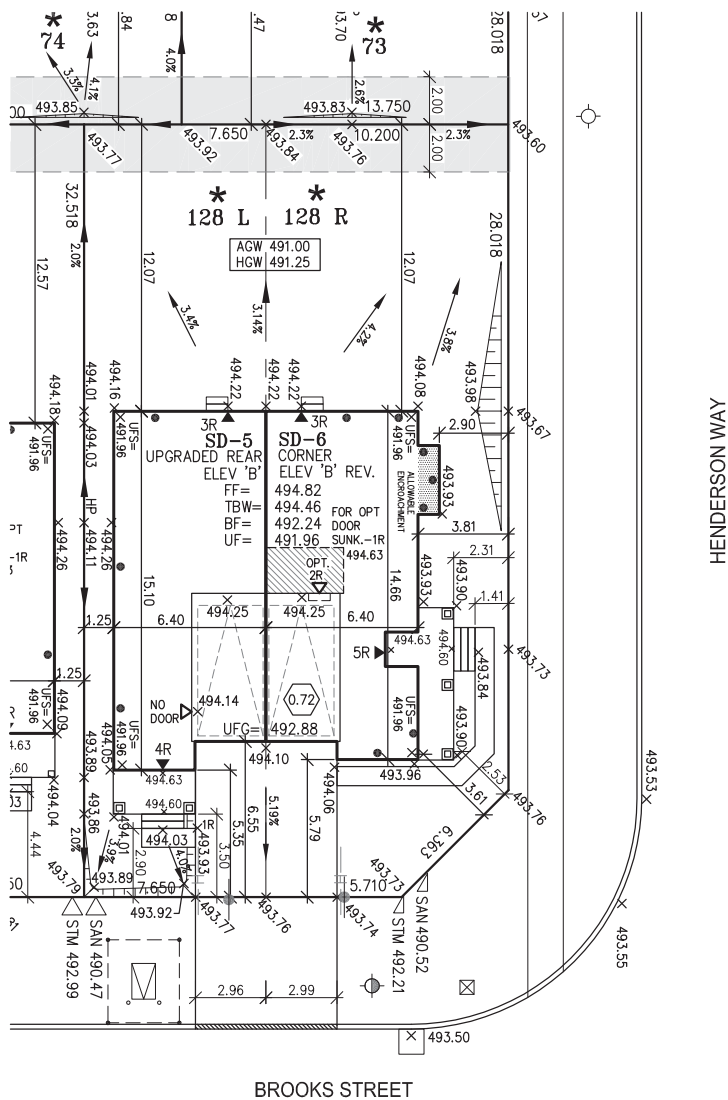
60 RANDALL DRIVE SUITE 11

AJAX, ONTARIO L1S 6L3

PH. (905) 619-1270 FAX (905) 619-1269

Project No. 2016-57

Sheet No. 128

CROZIER & ASSOCIATES INC.
FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY
08/07/2019

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LEGEND

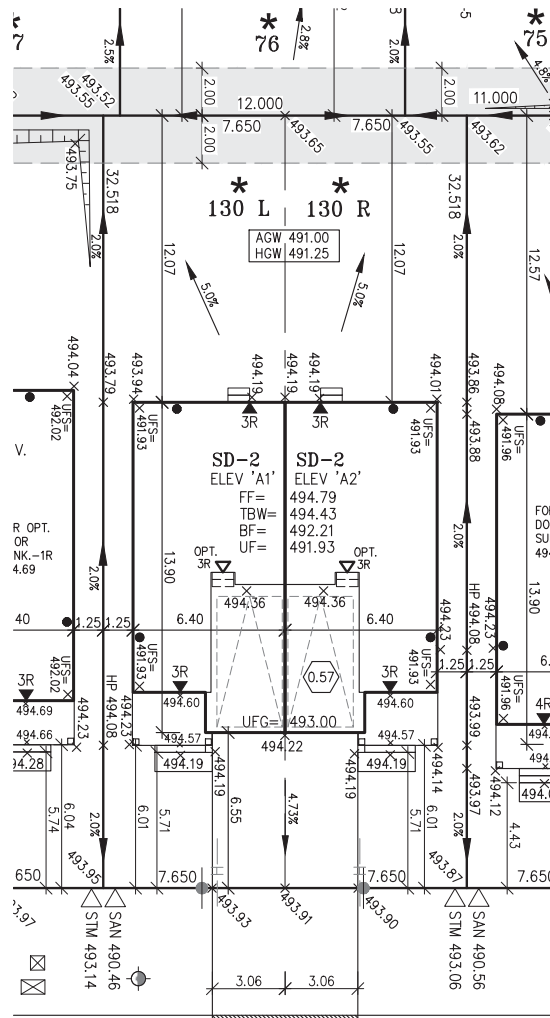
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| | REV REVERSE PLAN |
| | 2R, 3R NUMBER OF RISERS |
| | 000.00 PROPOSED ELEVATION |
| | (000.00) EXISTING ELEVATION |
| | RWL RAIN WATER LEADER |
| | ★ ENGINEERED FILL |
| | HGW HIGH GROUND WATER ELEV. |
| | AGW AVERAGE GROUND WATER ELEV. |
| | ○ X FIN. FLR. TO GARAGE ELEV. DIFF. |
| | EASEMENT - SIDE OR REAR YARD |
| | EASEMENT - OVERLAND FLOW |

CROZIER & ASSOCIATES INC.
FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY
08/02/2019

| | |
|-----------------------|-------------------------|
| Zone: | R4 - 6 |
| Lot 130 L | |
| Lot Area: | 248.75 sq. m. (200 min) |
| Lot Frontage: | 7.65 m. (7.65 min) |
| Building Coverage: | 90.81 sq. m. |
| Lot Coverage: | 36.51% (45% max) |
| Building Height: | 7.750 m. (11.0 max) |
| Landscape Open Space: | 58.61 % |
| Lot 130 R | |
| Lot Area: | 248.75 sq. m. (200 min) |
| Lot Frontage: | 7.65 m. (7.65 min) |
| Building Coverage: | 90.81 sq. m. |
| Lot Coverage: | 36.51 % (45% max) |
| Building Height: | 7.750 m. (11.0 max) |
| Landscape Open Space: | 58.61 % |

| Note: | High Ground Water Elev. | Avg. Ground Water Elev. | *Larger Ftg. Req. below elev. |
|---|--|-------------------------|-------------------------------|
| * larger ftg. required when below min. elev. listed | 491.25 | 491.00 | 491.85 |
| Bsmt. Slab Elev: | 492.21 | Difference 0.96 | Slab Sub-drain req. NO |
| U/S of Strip Ftg. Elev: | 491.93 | Difference 0.68 | Larger Ftg. Req. NO* |
| U/S of Pad Ftg. Elev: | 491.89 | Difference 0.64 | Larger Ftg. Req. NO |
| Parking Space: | Note: Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements | | |
| 2.75 m x 5.50 m | Note: Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings | | |
| Min. 1 Parking Space in Garage | | | |

BROOKS STREET



Client **TRIBUTE SHELburne LIMITED PARTNERSHIP**

Project Name **HYLAND VILLAGE TOWN OF SHELburne**

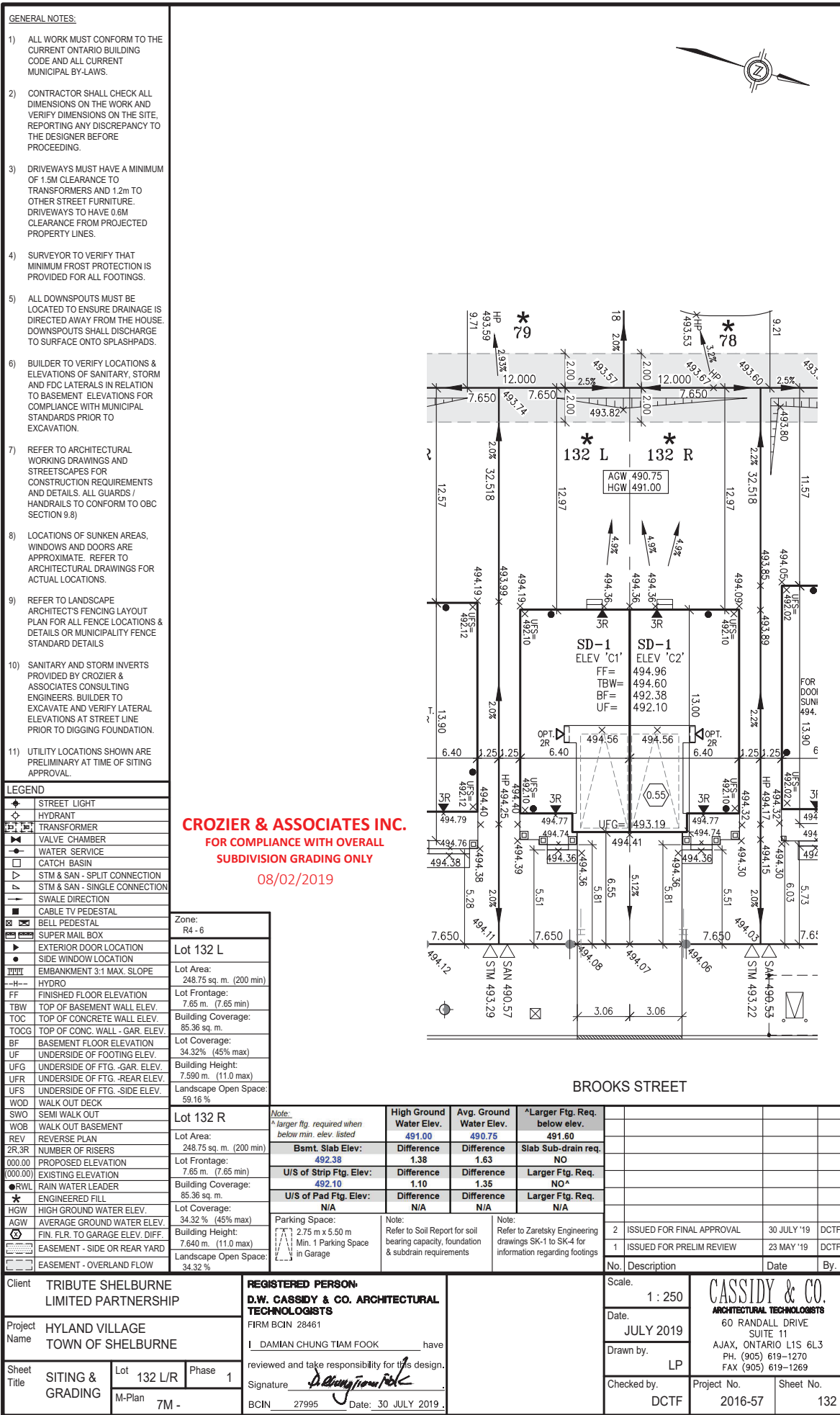
Sheet Title **SITING & GRADING** Lot **130 L/R** Phase **1**
M-Plan **7M -**

REGISTERED PERSON:
D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461
I **DAMIAN CHUNG TIAM FOOK** have reviewed and take responsibility for this design.
Signature *[Signature]*
BCIN 27995 Date: 30 JULY 2019

Scale: **1 : 250**
Date: **JULY 2019**
Drawn by: **LP**
Checked by: **DCTF**
Project No. **2016-57**
Sheet No. **130**

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269

2 ISSUED FOR FINAL APPROVAL 30 JULY '19 DCTF
1 ISSUED FOR PRELIM REVIEW 23 MAY '19 DCTF
No. Description Date By.



GENERAL NOTES:

- 1) ALL WORK MUST CONFORM TO THE CURRENT ONTARIO BUILDING CODE AND ALL CURRENT MUNICIPAL BY-LAWS.
- 2) CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY DIMENSIONS ON THE SITE, REPORTING ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING.
- 3) DRIVEWAYS MUST HAVE A MINIMUM OF 1.5M CLEARANCE TO TRANSFORMERS AND 1.2m TO OTHER STREET FURNITURE. DRIVEWAYS TO HAVE 0.6M CLEARANCE FROM PROJECTED PROPERTY LINES.
- 4) SURVEYOR TO VERIFY THAT MINIMUM FROST PROTECTION IS PROVIDED FOR ALL FOOTINGS.
- 5) ALL DOWNSPOUTS MUST BE LOCATED TO ENSURE DRAINAGE IS DIRECTED AWAY FROM THE HOUSE. DOWNSPOUTS SHALL DISCHARGE TO SURFACE ONTO SPLASHPADS.
- 6) BUILDER TO VERIFY LOCATIONS & ELEVATIONS OF SANITARY, STORM AND FDC LATERALS IN RELATION TO BASEMENT. ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
- 7) REFER TO ARCHITECTURAL WORKING DRAWINGS AND STREETSCAPES FOR CONSTRUCTION REQUIREMENTS AND DETAILS. ALL GUARDS / HANDRAILS TO CONFORM TO OBC SECTION 9.8)
- 8) LOCATIONS OF SUNKEN AREAS, WINDOWS AND DOORS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL LOCATIONS.
- 9) REFER TO LANDSCAPE ARCHITECT'S FENCING LAYOUT PLAN FOR ALL FENCE LOCATIONS & DETAILS OR MUNICIPALITY FENCE STANDARD DETAILS
- 10) SANITARY AND STORM INVERTS PROVIDED BY CROZIER & ASSOCIATES CONSULTING ENGINEERS. BUILDER TO EXCAVATE AND VERIFY LATERAL ELEVATIONS AT STREET LINE PRIOR TO DIGGING FOUNDATION.
- 11) UTILITY LOCATIONS SHOWN ARE PRELIMINARY AT TIME OF SITING APPROVAL.

LEGEND

| | |
|--|-------------------------------------|
| | STREET LIGHT |
| | HYDRANT |
| | TRANSFORMER |
| | VALVE CHAMBER |
| | WATER SERVICE |
| | CATCH BASIN |
| | STM & SAN - SPLIT CONNECTION |
| | STM & SAN - SINGLE CONNECTION |
| | SWALE DIRECTION |
| | CABLE TV PEDESTAL |
| | BELL PEDESTAL |
| | SUPER MAIL BOX |
| | EXTERIOR DOOR LOCATION |
| | SIDE WINDOW LOCATION |
| | EMBANKMENT 3:1 MAX. SLOPE |
| | HYDRO |
| | FF FINISHED FLOOR ELEVATION |
| | TBW TOP OF BASEMENT WALL ELEV. |
| | TOC TOP OF CONCRETE WALL ELEV. |
| | TOCG TOP OF CONC. WALL - GAR. ELEV. |
| | BF BASEMENT FLOOR ELEVATION |
| | UF UNDERSIDE OF FOOTING ELEV. |
| | UFG UNDERSIDE OF FTG. - GAR. ELEV. |
| | UFR UNDERSIDE OF FTG. - REAR ELEV. |
| | UFS UNDERSIDE OF FTG. - SIDE ELEV. |
| | WOD WALK OUT DECK |
| | SWO SEMI WALK OUT |
| | WOB WALK OUT BASEMENT |
| | REV REVERSE SLOPE |
| | 2R, 3R NUMBER OF RISERS |
| | 000.00 PROPOSED ELEVATION |
| | (000.00) EXISTING ELEVATION |
| | R/W RAIN WATER LEADER |
| | ★ ENGINEERED FILL |
| | HGW HIGH GROUND WATER ELEV. |
| | AGW AVERAGE GROUND WATER ELEV. |
| | FIN. FLR. TO GARAGE ELEV. DIFF. |
| | EASEMENT - SIDE OR REAR YARD |
| | EASEMENT - OVERLAND FLOW |

CROZIER & ASSOCIATES INC.
FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY
08/02/2019

| | |
|-----------------------|-------------------------|
| Zone: | R4 - 6 |
| Lot 133 L | |
| Lot Area: | 248.75 sq. m. (200 min) |
| Lot Frontage: | 7.65 m. (7.65 min) |
| Building Coverage: | 90.53 sq. m. |
| Lot Coverage: | 36.40% (45% max) |
| Building Height: | 7.740 m. (11.0 max) |
| Landscape Open Space: | 58.33 % |
| Lot 133 R | |
| Lot Area: | 248.75 sq. m. (200 min) |
| Lot Frontage: | 7.65 m. (7.65 min) |
| Building Coverage: | 90.53 sq. m. |
| Lot Coverage: | 36.40% (45% max) |
| Building Height: | 7.760 m. (11.0 max) |
| Landscape Open Space: | 58.33 % |

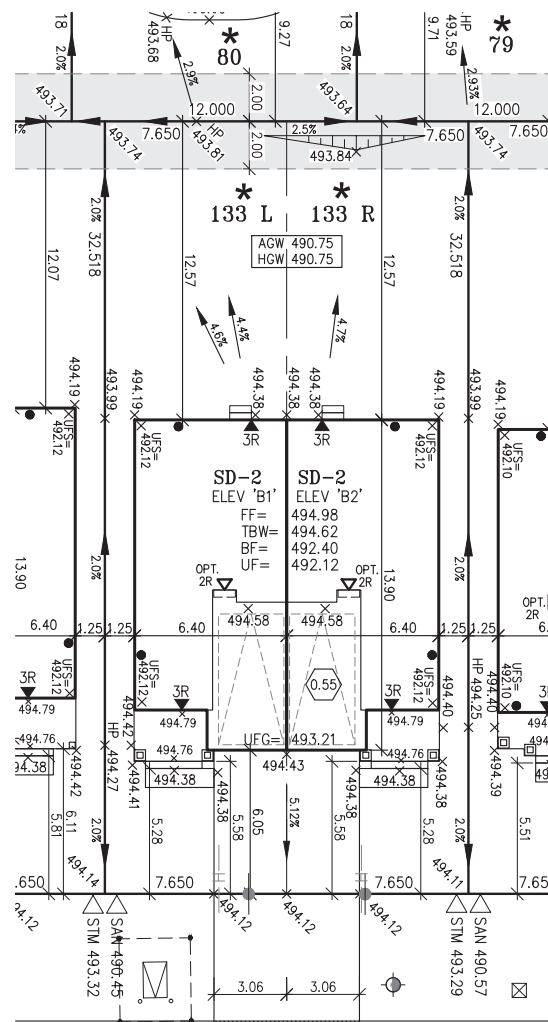
| | | | |
|--|--------|------------|------|
| Note: * Larger ftg. required when below min. elev. listed | | | |
| Bsmt. Slab Elev: | 492.40 | Difference | 1.65 |
| U/S of Strip Ftg. Elev: | 492.12 | Difference | 1.37 |
| U/S of Pad Ftg. Elev: | 492.08 | Difference | 1.33 |

| | |
|--------------------------------|-----------------|
| Parking Space: | 2.75 m x 5.50 m |
| Min. 1 Parking Space in Garage | |

| | |
|-------------------------|--------|
| High Ground Water Elev. | 490.75 |
| Avg. Ground Water Elev. | 490.75 |
| Slab Sub-drain req. | NO |
| Larger Ftg. Req. | NO* |
| Larger Ftg. Req. | NO |

| | |
|-------|--|
| Note: | Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements |
| Note: | Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings |

BROOKS STREET



Client: TRIBUTE SHELburne LIMITED PARTNERSHIP

Project Name: HYLAND VILLAGE TOWN OF SHELburne

Sheet Title: SITING & GRADING

Lot: 133 L/R Phase: 1

M-Plan 7M -

REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461

I DAMIAN CHUNG TIAM FOOK have reviewed and take responsibility for this design.

Signature: [Signature] BCIN 27995 Date: 30 JULY 2019

Scale: 1:250

Date: JULY 2019

Drawn by: LP

Checked by: DCTF

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE SUITE 11
AJAX, ONTARIO L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269

Project No. 2016-57 Sheet No. 133

2 ISSUED FOR FINAL APPROVAL 30 JULY '19 DCTF
1 ISSUED FOR PRELIM REVIEW 23 MAY '19 DCTF

No. Description Date By.

GENERAL NOTES:

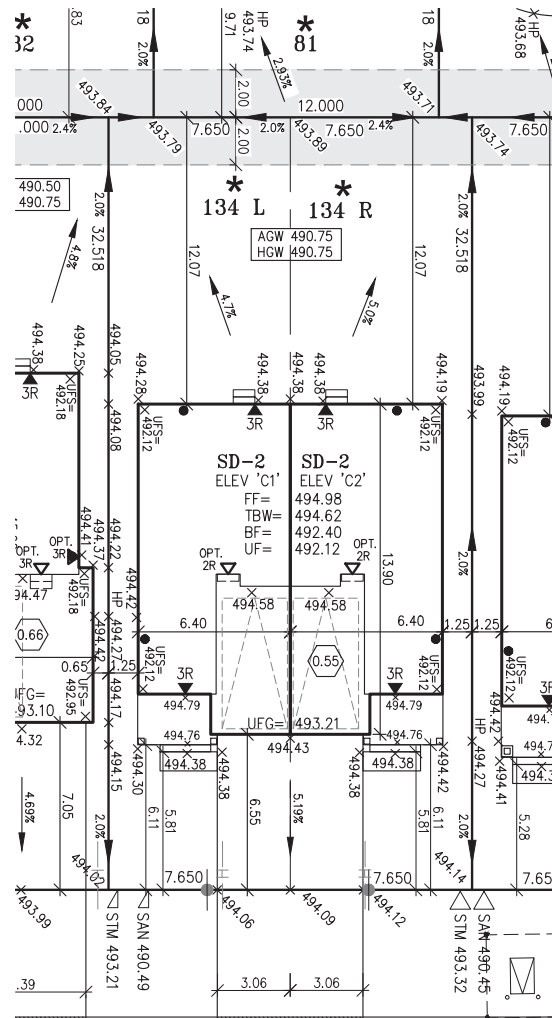
- 1) ALL WORK MUST CONFORM TO THE CURRENT ONTARIO BUILDING CODE AND ALL CURRENT MUNICIPAL BY-LAWS.
- 2) CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY DIMENSIONS ON THE SITE, REPORTING ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING.
- 3) DRIVEWAYS MUST HAVE A MINIMUM OF 1.5M CLEARANCE TO TRANSFORMERS AND 1.2m TO OTHER STREET FURNITURE. DRIVEWAYS TO HAVE 0.6M CLEARANCE FROM PROJECTED PROPERTY LINES.
- 4) SURVEYOR TO VERIFY THAT MINIMUM FROST PROTECTION IS PROVIDED FOR ALL FOOTINGS.
- 5) ALL DOWNSPOUTS MUST BE LOCATED TO ENSURE DRAINAGE IS DIRECTED AWAY FROM THE HOUSE. DOWNSPOUTS SHALL DISCHARGE TO SURFACE ONTO SPLASHPADS.
- 6) BUILDER TO VERIFY LOCATIONS & ELEVATIONS OF SANITARY, STORM AND FDC LATERALS IN RELATION TO BASEMENT. ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
- 7) REFER TO ARCHITECTURAL WORKING DRAWINGS AND STREETSAPES FOR CONSTRUCTION REQUIREMENTS AND DETAILS. ALL GUARDS / HANDRAILS TO CONFORM TO OBC SECTION 9.8)
- 8) LOCATIONS OF SUNKEN AREAS, WINDOWS AND DOORS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL LOCATIONS.
- 9) REFER TO LANDSCAPE ARCHITECT'S FENCING LAYOUT PLAN FOR ALL FENCE LOCATIONS & DETAILS OR MUNICIPALITY FENCE STANDARD DETAILS
- 10) SANITARY AND STORM INVERTS PROVIDED BY CROZIER & ASSOCIATES CONSULTING ENGINEERS. BUILDER TO EXCAVATE AND VERIFY LATERAL ELEVATIONS AT STREET LINE PRIOR TO DIGGING FOUNDATION.
- 11) UTILITY LOCATIONS SHOWN ARE PRELIMINARY AT TIME OF SITING APPROVAL.

LEGEND

| | |
|--|-------------------------------------|
| | STREET LIGHT |
| | HYDRANT |
| | TRANSFORMER |
| | VALVE CHAMBER |
| | WATER SERVICE |
| | CATCH BASIN |
| | STM & SAN - SPLIT CONNECTION |
| | STM & SAN - SINGLE CONNECTION |
| | SWALE DIRECTION |
| | CABLE TV PEDESTAL |
| | BELL PEDESTAL |
| | SUPER MAIL BOX |
| | EXTERIOR DOOR LOCATION |
| | SIDE WINDOW LOCATION |
| | EMBANKMENT 3:1 MAX. SLOPE |
| | HYDRO |
| | FF FINISHED FLOOR ELEVATION |
| | TBW TOP OF BASEMENT WALL ELEV. |
| | TOC TOP OF CONCRETE WALL ELEV. |
| | TOCG TOP OF CONC. WALL - GAR. ELEV. |
| | BF BASEMENT FLOOR ELEVATION |
| | UF UNDERSIDE OF FOOTING ELEV. |
| | UFG UNDERSIDE OF FTG. - GAR. ELEV. |
| | UFR UNDERSIDE OF FTG. - REAR ELEV. |
| | UFS UNDERSIDE OF FTG. - SIDE ELEV. |
| | WOD WALK OUT DECK |
| | SWO SEMI WALK OUT |
| | WOB WALK OUT BASEMENT |
| | REV REVERSE PLAN |
| | 2R, 3R NUMBER OF RISERS |
| | 000.00 PROPOSED ELEVATION |
| | 000.00 EXISTING ELEVATION |
| | R/WL RAIN WATER LEADER |
| | Star ENGINEERED FILL |
| | HGW HIGH GROUND WATER ELEV. |
| | AGW AVERAGE GROUND WATER ELEV. |
| | Fin. Flr. TO GARAGE ELEV. DIFF. |
| | EASEMENT - SIDE OR REAR YARD |
| | EASEMENT - OVERLAND FLOW |

| | |
|-----------------------|-------------------------|
| Zone: | R4 - 6 |
| Lot 134 L | |
| Lot Area: | 248.75 sq. m. (200 min) |
| Lot Frontage: | 7.65 m. (7.65 min) |
| Building Coverage: | 90.48 sq. m. |
| Lot Coverage: | 36.38% (45% max) |
| Building Height: | 7.800 m. (11.0 max) |
| Landscape Open Space: | 58.44 % |
| Lot 134 R | |
| Lot Area: | 248.75 sq. m. (200 min) |
| Lot Frontage: | 7.65 m. (7.65 min) |
| Building Coverage: | 90.48 sq. m. |
| Lot Coverage: | 36.38 % (45% max) |
| Building Height: | 7.740 m. (11.0 max) |
| Landscape Open Space: | 58.44 % |

CROZIER & ASSOCIATES INC.
FOR COMPLIANCE WITH OVERALL
SUBDIVISION GRADING ONLY
08/02/2019



BROOKS STREET

| Note: | High Ground Water Elev. | Avg. Ground Water Elev. | *Larger Ftg. Req. below elev. |
|---|-------------------------|-------------------------|-------------------------------|
| * larger fty. required when below min. elev. listed | 490.75 | 490.75 | 491.35 |
| Bsmt. Slab Elev: | Difference | Difference | Slab Sub-drain req. |
| 492.40 | 1.65 | 1.65 | NO |
| U/S of Strip Ftg. Elev: | Difference | Difference | Larger Ftg. Req. |
| 492.12 | 1.37 | 1.37 | NO* |
| U/S of Pad Ftg. Elev: | Difference | Difference | Larger Ftg. Req. |
| 492.08 | 1.33 | 1.33 | NO |

Parking Space:
2.75 m x 5.50 m
Min. 1 Parking Space
in Garage

Note:
Refer to Soil Report for soil bearing capacity, foundation & subdrain requirements

Note:
Refer to Zaretsky Engineering drawings SK-1 to SK-4 for information regarding footings

| No. | Description | Date | By. |
|-----|---------------------------|-------------|------|
| 2 | ISSUED FOR FINAL APPROVAL | 30 JULY '19 | DCTF |
| 1 | ISSUED FOR PRELIM REVIEW | 23 MAY '19 | DCTF |

Client **TRIBUTE SHELburne LIMITED PARTNERSHIP**

Project Name **HYLAND VILLAGE TOWN OF SHELburne**

Sheet Title **SITING & GRADING** Lot **134 L/R** Phase **1**
M-Plan **7M -**

REGISTERED PERSON:
D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461
I **DAMIAN CHUNG TIAM FOOK** have reviewed and take responsibility for this design.
Signature *D. Cassidy*
BCIN 27995 Date: 30 JULY 2019

Scale: **1 : 250**
Date: **JULY 2019**
Drawn by: **LP**
Checked by: **DCTF**
Project No. **2016-57**
Sheet No. **134**

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269

PART LOT CONTROL EXEMPTION APPLICATION

APPENDIX 'C' – LOT MARKUPS FOR PLC EXEMPTION

PLAN 7M-74 LOT MARKUP FOR PART LOT CONTROL EXEMPTION APPLICATION



PART LOT CONTROL EXEMPTION APPLICATION

APPENDIX 'D' – PROPERTY INFORMATION SCHEDULE

| Draft Reference Plan 7R-XXXX (19-095RP01) | | | | |
|---|-------------------|-------------------|------|------------------------|
| [Semi-Detached Units] | | | | |
| Unit | Municipal Address | Closing Date | Part | Usage |
| 128R | 501 Brooks Street | 2 July 2020 | 1 | Dwelling Parcel |
| | | | 2 | Overland Flow Easement |
| 128L | 503 Brooks Street | 3 July 2020 | 3 | Dwelling Parcel |
| | | | 4 | Overland Flow Easement |
| 129R | 505 Brooks Street | 30 June 2020 | 5 | Dwelling Parcel |
| | | | 6 | Overland Flow Easement |
| 129L | 507 Brooks Street | 2 July 2020 | 7 | Dwelling Parcel |
| | | | 8 | Overland Flow Easement |
| 130R | 509 Brooks Street | 25 June 2020 | 9 | Dwelling Parcel |
| | | | 10 | Overland Flow Easement |
| 130L | 511 Brooks Street | 5 August 2020 | 11 | Dwelling Parcel |
| | | | 12 | Overland Flow Easement |
| 131R | 513 Brooks Street | 16 September 2020 | 13 | Dwelling Parcel |
| | | | 14 | Overland Flow Easement |
| 131L | 515 Brooks Street | 17 September 2020 | 15 | Dwelling Parcel |
| | | | 16 | Overland Flow Easement |
| 132R | 517 Brooks Street | 9 September 2020 | 17 | Dwelling Parcel |
| | | | 18 | Overland Flow Easement |
| 132L | 519 Brooks Street | 24 June 2020 | 19 | Dwelling Parcel |
| | | | 20 | Overland Flow Easement |
| 133R | 521 Brooks Street | 19 June 2020 | 21 | Dwelling Parcel |
| | | | 22 | Overland Flow Easement |
| 133L | 523 Brooks Street | 11 August 2020 | 23 | Dwelling Parcel |
| | | | 24 | Overland Flow Easement |
| 134R | 525 Brooks Street | 10 September 2020 | 25 | Dwelling Parcel |
| | | | 26 | Overland Flow Easement |
| 134L | 527 Brooks Street | 18 August 2020 | 27 | Dwelling Parcel |
| | | | 28 | Overland Flow Easement |

| Draft Reference Plan 7R-XXXX (19-095RP02) | | | | |
|---|--------------------|-------------------|------|------------------------|
| [Townhouse Units] | | | | |
| Unit | Municipal Address | Closing Date | Part | Usage |
| 148-55 | 327 Stewart Street | 10 February 2020 | 1 | Dwelling Parcel |
| | | | 2 | Overland Flow Easement |
| | | | 3 | Access Easement |
| 148-56 | 329 Stewart Street | 11 February 2020 | 4 | Dwelling Parcel |
| | | | 5 | Overland Flow Easement |
| | | | 6 | Access Easement |
| | | | 7 | Access Easement |
| 148-57 | 331 Stewart Street | 12 February 2020 | 8 | Dwelling Parcel |
| | | | 9 | Overland Flow Easement |
| 149-58 | 333 Stewart Street | 18 August 2020 | 10 | Dwelling Parcel |
| | | | 11 | Overland Flow Easement |
| | | | 12 | Access Easement |
| 149-59 | 335 Stewart Street | 28 April 2020 | 13 | Dwelling Parcel |
| | | | 14 | Overland Flow Easement |
| | | | 15 | Access Easement |
| | | | 16 | Access Easement |
| 149-60 | 337 Stewart Street | 7 October 2020 | 17 | Dwelling Parcel |
| | | | 18 | Overland Flow Easement |
| 150-61 | 339 Stewart Street | 8 July 2020 | 19 | Dwelling Parcel |
| | | | 20 | Overland Flow Easement |
| | | | 21 | Access Easement |
| 150-62 | 341 Stewart Street | 15 September 2020 | 22 | Dwelling Parcel |
| | | | 23 | Overland Flow Easement |
| | | | 24 | Access Easement |
| | | | 25 | Access Easement |
| 150-63 | 343 Stewart Street | 6 July 2020 | 26 | Dwelling Parcel |
| | | | 27 | Overland Flow Easement |
| | | | 28 | Access Easement |
| 150-64 | 345 Stewart Street | 17 September 2020 | 29 | Dwelling Parcel |
| | | | 30 | Overland Flow Easement |
| | | | 31 | Access Easement |

| Draft Reference Plan 7R-XXXX (19-095RP02) | | | | |
|---|--------------------|-----------------|------|------------------------|
| [Semi-Detached Units] | | | | |
| Unit | Municipal Address | Closing Date | Part | Usage |
| 112L | 351 Stewart Street | 10 August 2020 | 32 | Dwelling Parcel |
| | | | 33 | Overland Flow Easement |
| 112R | 353 Stewart Street | 7 August 2020 | 34 | Dwelling Parcel |
| | | | 35 | Overland Flow Easement |
| 113L | 355 Stewart Street | 29 October 2020 | 36 | Dwelling Parcel |
| | | | 37 | Overland Flow Easement |
| 113R | 357 Stewart Street | 2 July 2020 | 38 | Dwelling Parcel |
| | | | 39 | Overland Flow Easement |
| 114L | 359 Stewart Street | 6 August 2020 | 40 | Dwelling Parcel |
| | | | 41 | Overland Flow Easement |
| 114R | 361 Stewart Street | 5 August 2020 | 42 | Dwelling Parcel |
| | | | 43 | Overland Flow Easement |



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

PLAN 7R-

RECEIVED AND DEPOSITED

DRAFT

ATE: 2020 DATE: 2020

MICHAEL McKECHNIE
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR THE LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
DUFFERIN (No. 7)

| SCHEDULE | | | | |
|----------|------------|------------|-----------------|------------------------|
| PART | ALL OF LOT | PLAN | ALL OF PIN | AREA (m ²) |
| 1 | LOT 128 | PLAN 7M-74 | 34132-0255 (LT) | 301.33 |
| 2 | | | | 20.40 |
| 3 | | | | 233.46 |
| 4 | | | | 15.30 |
| 5 | LOT 129 | | 34132-0256 (LT) | 233.46 |
| 6 | | | | 15.30 |
| 7 | | | | 233.46 |
| 8 | | | | 15.30 |
| 9 | LOT 130 | | 34132-0257 (LT) | 233.46 |
| 10 | | | | 15.30 |
| 11 | | | | 233.46 |
| 12 | | | | 15.30 |
| 13 | LOT 131 | | 34132-0258 (LT) | 233.46 |
| 14 | | | | 15.30 |
| 15 | | | | 233.46 |
| 16 | | | | 15.30 |
| 17 | LOT 132 | | 34132-0259 (LT) | 233.46 |
| 18 | | | | 15.30 |
| 19 | | | | 233.46 |
| 20 | | | | 15.30 |
| 21 | LOT 133 | | 34132-0260 (LT) | 233.46 |
| 22 | | | | 15.30 |
| 23 | | | | 233.46 |
| 24 | | | | 15.30 |
| 25 | LOT 134 | | 34132-0261 (LT) | 233.46 |
| 26 | | | | 15.30 |
| 27 | | | | 233.46 |
| 28 | | | | 15.30 |

PARTS 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26 AND 28 ARE SUBJECT TO AN EASEMENT IN GROSS AS IN DC211696.

PLAN OF SURVEY OF
LOTS 128 TO 134 ALL INCLUSIVE
PLAN 7M-74
TOWN OF SHELBURNE
COUNTY OF DUFFERIN

SCALE 1:300

5 0 5 10 15 20 25 30m

KRCMAR SURVEYORS LTD. 2020

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING

BEARINGS SHOWN HEREON ARE GRID AND ARE DERIVED FROM THE WESTERLY LIMIT OF BROOKS STREET AS SHOWN ON REGISTERED PLAN 7M-74; AND HAVING A BEARING OF N 15°55'05" E. BEARINGS ARE REFERRED TO THE ONTARIO CO-ORDINATE SYSTEM UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD83 (CSRS-2010).

PUBLISHED REFERENCE CO-ORDINATE VALUES:
ORP A (7M-74) N: 4 880 716.16 E: 563 191.34
ORP B (7M-74) N: 4 880 644.87 E: 563 422.23
ORP C (7M-74) N: 4 880 265.32 E: 563 372.88

(6° UNIVERSAL TRANSVERSE MERCATOR PROJECTION, NAD 83, CSRS-2010)

GRID SCALE CONVERSION

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.999578.

6° UTM ZONE 17 COORDINATES
NAD 83 CSRS-2010 (CENTRAL MERIDIAN 81°00' WEST LONGITUDE)

THE UTM COORDINATES LISTED BELOW COMPLY WITH SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT.

| POINT ID | NORTHING | EASTING |
|----------|--------------|------------|
| C.R.P. 1 | 4 880 491.78 | 563 425.73 |
| C.R.P. 2 | 4 880 348.67 | 563 441.08 |

COORDINATE VALUES SHOWN ARE FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

NOTES

CO-ORDINATE REFERENCE POINTS (C.R.P.'s) 1 AND 2 HAVE BEEN CALCULATED FROM THE CO-ORDINATE INTEGRATION OF PLAN 7M-74 BY SETTING AND CONFIRMING THE MEASUREMENTS AND CO-ORDINATES SHOWN THEREON.

ALL FOUND SURVEY MONUMENTS ARE IRON BARS (IB) AND BY VAN HARTEN SURVEYING INC., O.L.S. UNLESS OTHERWISE NOTED.

ALL SET SURVEY MONUMENTS ARE IRON BARS UNLESS OTHERWISE NOTED.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

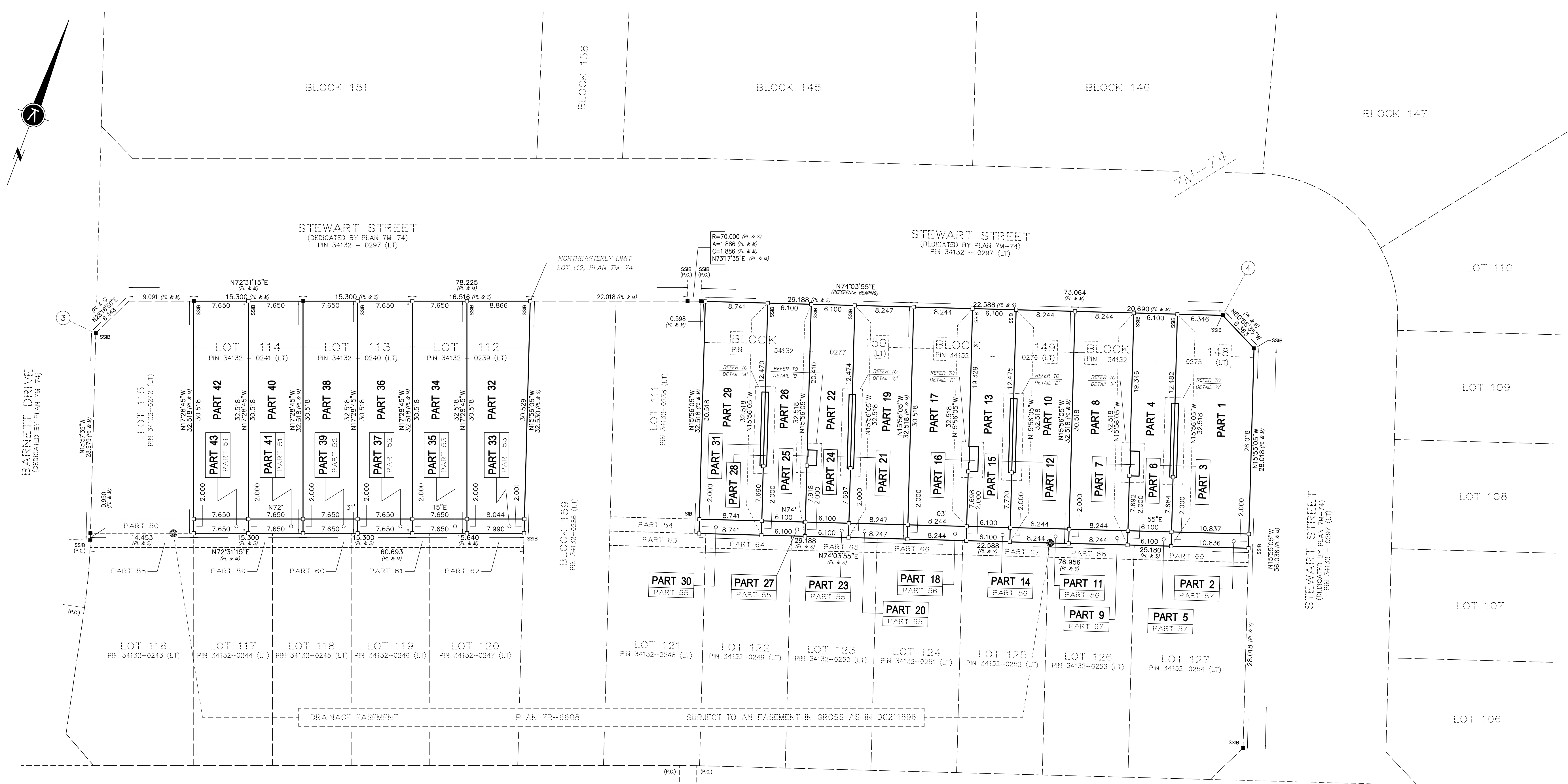
2. THE SURVEY WAS COMPLETED ON THE 21st DAY OF FEBRUARY, 2020.

MARCH 20, 2020
DATE

Mike McKechnie
MICHAEL McKECHNIE
ONTARIO LAND SURVEYOR

| | | | | | | | |
|---|------------|------------|-------------------|----------------|--------|---------|--------|
| FIELD: | M.J.M. | DRAWN: | M.J.M. | CHECKED: | M.J.M. | JOB NO: | 19-095 |
| DWG NAME: | 19-095RP01 | PLOT INFO: | 09:00 20/Mar/2020 | WORK ORDER NO: | 32397 | | |
| 1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca | | | | | | | |

KRCMAR



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

PLAN 7R-

DRAFT

RECEIVED AND DEPOSITED

DAT 2020

DAT 2020

MICHAEL McKECHNIE
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR THE LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
DUFFERIN (No. 7)

| SCHEDULE | | | | |
|----------|-----------|------|-----------------|------------------------|
| PART | ALL OF | PLAN | ALL OF PIN | AREA (m ²) |
| 1 | BLOCK 148 | | 34132-0275 (LT) | 315.64 |
| 2 | | | | 21.67 |
| 3 | | | | 5.08 |
| 4 | | | | 176.67 |
| 5 | | | | 12.20 |
| 6 | | | | 4.81 |
| 7 | | | | 4.47 |
| 8 | | | | 251.80 |
| 9 | BLOCK 149 | | 34132-0276 (LT) | 16.49 |
| 10 | | | | 246.60 |
| 11 | | | | 16.49 |
| 12 | | | | 4.99 |
| 13 | | | | 176.65 |
| 14 | | | | 12.20 |
| 15 | | | | 4.78 |
| 16 | | | | 4.49 |
| 17 | BLOCK 150 | | 34132-0277 (LT) | 251.82 |
| 18 | | | | 16.49 |
| 19 | | | | 247.03 |
| 20 | | | | 16.49 |
| 21 | | | | 4.66 |
| 22 | | | | 178.42 |
| 23 | | | | 12.20 |
| 24 | | | | 4.76 |
| 25 | LOT 112 | | 34132-0239 (LT) | 2.88 |
| 26 | | | | 181.39 |
| 27 | | | | 12.20 |
| 28 | | | | 4.87 |
| 29 | | | | 261.89 |
| 30 | | | | 17.48 |
| 31 | | | | 4.87 |
| 32 | | | | 258.03 |
| 33 | LOT 113 | | 34132-0239 (LT) | 16.03 |
| 34 | | | | 233.46 |
| 35 | LOT 114 | | 34132-0240 (LT) | 15.30 |
| 36 | | | | 233.46 |
| 37 | LOT 113 | | 34132-0240 (LT) | 15.30 |
| 38 | | | | 233.46 |
| 39 | LOT 114 | | 34132-0241 (LT) | 15.30 |
| 40 | | | | 233.46 |
| 41 | LOT 114 | | 34132-0241 (LT) | 15.30 |
| 42 | | | | 233.46 |
| 43 | LOT 114 | | 34132-0241 (LT) | 15.30 |
| 44 | | | | 233.46 |

PARTS 2, 5, 9, 11, 14, 18, 20, 23, 27, 30, 33, 35, 37, 39, 41 AND 43 ARE SUBJECT TO AN EASEMENT IN GROSS AS IN DC211696.

PLAN OF SURVEY OF
LOTS 112, 113, 114 AND
BLOCKS 148, 149 AND 150
PLAN 7M-74
TOWN OF SHELBURNE
COUNTY OF DUFFERIN

SCALE 1:300

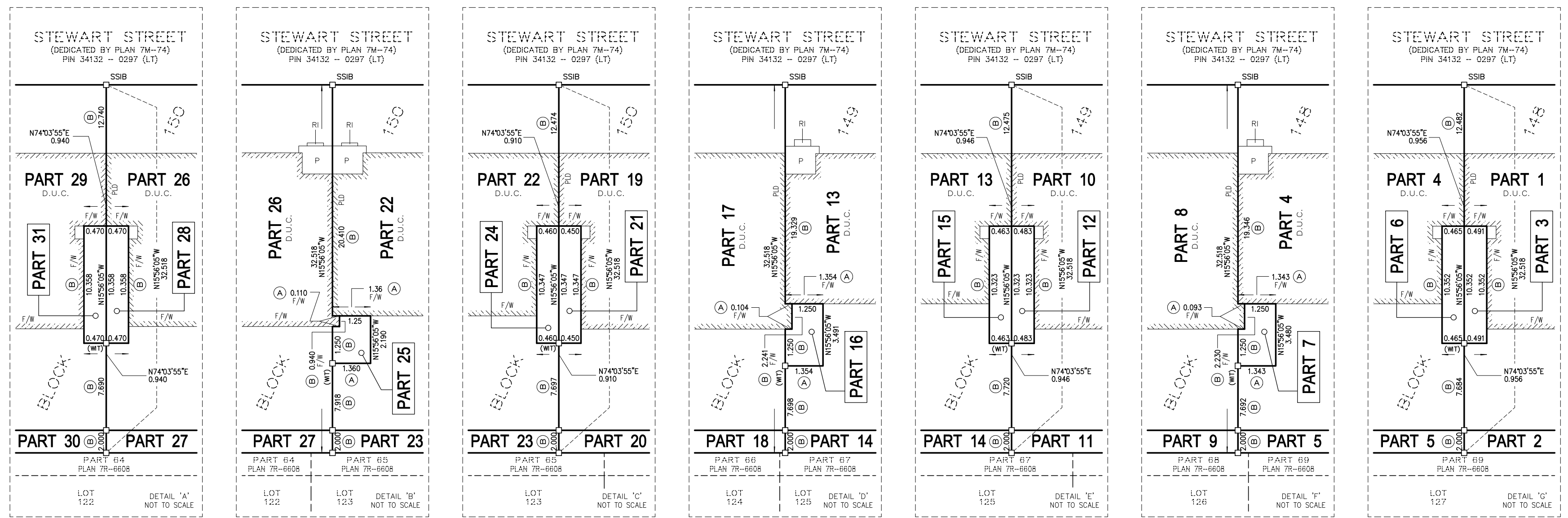
METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PLAN

GRID SCALE CONVERSION

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.999578.

| 6° UTM ZONE 17 COORDINATES NAD 83 CSRS-2010 (CENTRAL MERIDIAN 81°00' WEST LONGITUDE) | | |
|--|--------------|------------|
| THE UTM COORDINATES LISTED BELOW COMPLY WITH SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT. | | |
| POINT ID | NORTHING | EASTING |
| C.R.P. 3 | 4 880 515.80 | 563 224.88 |
| C.R.P. 4 | 4 880 565.56 | 563 374.55 |
| COORDINATE VALUES SHOWN ARE FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY. COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. | | |



| BEARING TABLE | |
|---------------|---------------------|
| (A) | DENOTES N74°03'55"E |
| (B) | DENOTES N15°56'05"W |

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- SSB DENOTES SURVEY MONUMENT FOUND
- IB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES STANDARD IRON BAR
- WT DENOTES WITNESS MONUMENT
- P.C. DENOTES POINT OF CURVATURE
- P.L.D. DENOTES POINT OF COMPOUND CURVATURE
- PL DENOTES PLAN 7M-74
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- (S) DENOTES SET
- (M) DENOTES MEASURED
- (1370) DENOTES KRCMAR SURVEYORS LTD., O.L.S.
- (VH) DENOTES VAN HARTEN SURVEYING INC., O.L.S.
- P.L.D. DENOTES PART LIMIT WITHIN DEMISING WALL
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- F/W DENOTES FACE OF WALL
- P DENOTES PORCH
- RI DENOTES RISERS

BEARING
BEARINGS SHOWN HEREON ARE GRID AND ARE DERIVED FROM THE SOUTHERLY LIMIT OF STEWART STREET AS SHOWN ON REGISTERED PLAN 7M-74, AND HAVING A BEARING OF N 74°03'55" E. BEARINGS ARE REFERRED TO THE ONTARIO CO-ORDINATE SYSTEM UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD83 (CSRS-2010).

PUBLISHED REFERENCE CO-ORDINATE VALUES:
ORP A (7M-74) N: 4 880 716.16 E: 563 191.34
ORP B (7M-74) N: 4 880 644.87 E: 563 422.23
ORP C (7M-74) N: 4 880 265.32 E: 563 372.88

(6° UNIVERSAL TRANSVERSE MERCATOR PROJECTION, NAD 83, CSRS-2010)

NOTES
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FIELD: M.J.M. **DRAWN:** M.J.M. **CHECKED:** M.J.M. **JOB NO:** 19-095
DWG NAME: 19-095RFP02 **PLOT INFO:** 09:00 20/Mar/2020 **WORK ORDER NO:** 323978
1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F.905.738.9221 www.krcmar.ca

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